

42 Archer Street, Chatswood

Development Application

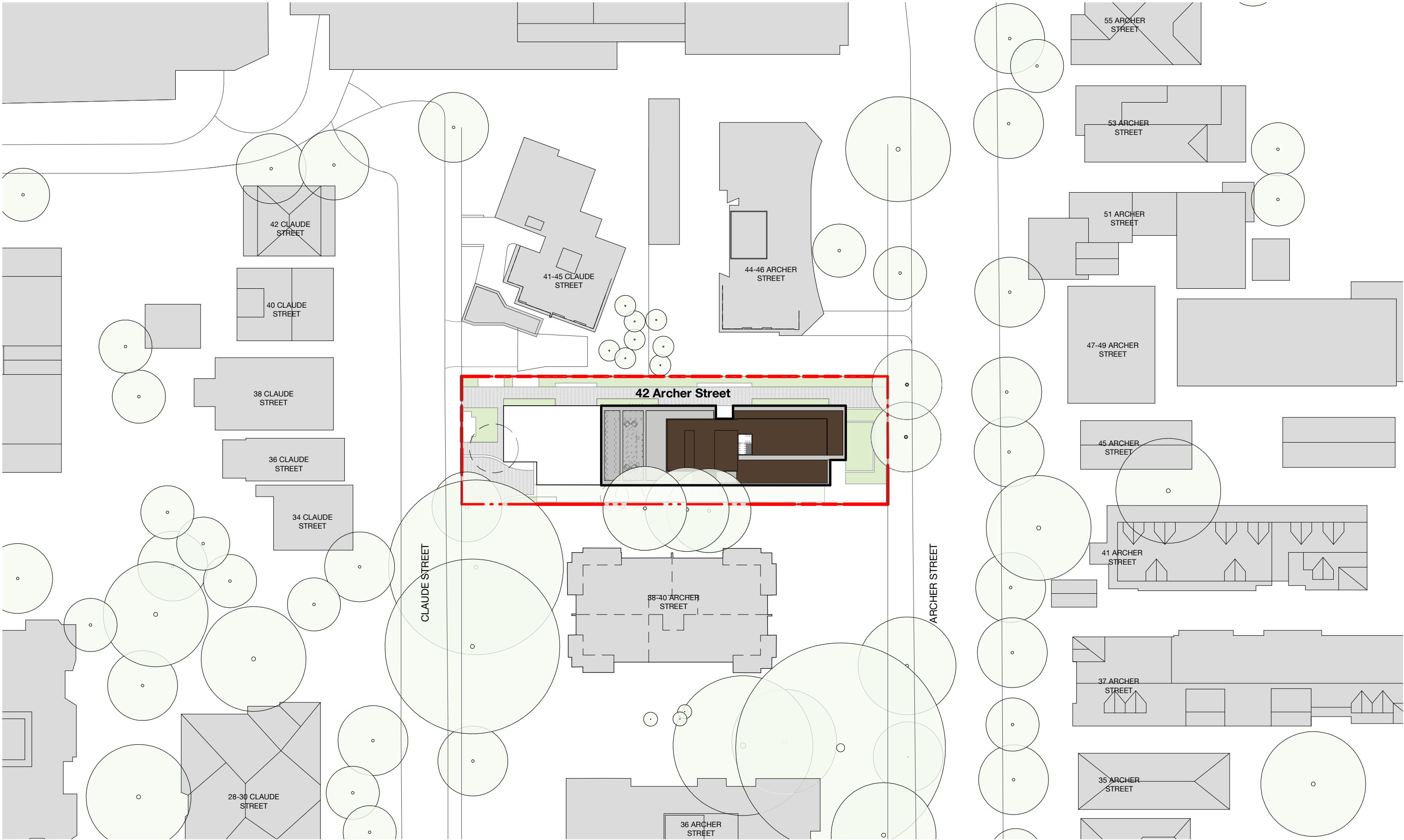
Drawing List

A00.000	Drawing List	NTS
A01.001	Site Plan	1:500
A01.002	Site Analysis	1:500
A01.003	Existing Site Plan	1:250
A03.00	Ground Level	1:250
A03.01	Level 01	1:250
A03.02	Level 02	1:250
A03.03	Level 03	1:250
A03.04	Typical Plan (Level 4-23)	1:250
A03.24	Level 24	1:250
A03.25	Level 25	1:250
A03.26	Roof Plan	1:250
A03.B01	Basement 01	1:250
A03.B02	Basement 02	1:250
A03.B03	Basement 03	1:250
A03.B04	Basement 04	1:250
A09.01	East Elevation (Archer Street)	1:300
A09.02	South Elevation	1:300
A09.03	West Elevation (Claude Street)	1:300
A09.04	North Elevation	1:300
A10.01	Section AA	1:300
A10.02	Section BB	1:300
A10.03	Basement Ramp Section	1:200
A11.01	Facade detail	1:50
A13.01	Apartment Layouts	1:100
A13.02	Apartment Layouts	1:100
A13.03	Apartment Layouts	1:100
A13.04	Apartment Layouts	1:100
A21.01	Shadow Analysis Diagrams	NTS
A21.10	Views from the Sun (Mid-Winter 0900 to 1600)	NTS
A22.01	GFA Calculation Diagrams	1:500
A22.02	Area Calculation Plans	1:500
A23.01	Photomontage 1 - View from Archer Street	NTS
A23.02	Photomontage 2 - View from Archer Street	NTS
A23.03	Photomontage 3 - View of Podium & Laneway	NTS
A23.04	Photomontage 4 - East Elevation	NTS

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June 2022		BSA Reference: 17584		
Building Sustainability Assessments		Ph: (02) 4962 3439		
enquiries@buildingsustainability.net.au		www. buildingsustainability.net.au		
Important Note				
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.				
In NSW both BASIX & the BCA variations must be complied with, in particular the following:				
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1				
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)				
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)				
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.				
Thermal Performance Specifications (does not apply to garage)				
External Wall Construction		Added Insulation		
Concrete		R1.0		
Internal Wall Construction		Added Insulation		
Plasterboard on studs (internal to units)		None		
Plasterboard on double studs with AAC shaft liner (adjacent to common areas)		R1.5 + R1.5		
Concrete + Plasterboard (adjacent to lift/stair cores)		R1.0		
Ceiling Construction		Added Insulation		
Plasterboard		None		
Roof Construction		Colour (Solar Absorptance)	Added Insulation	
Concrete		Any	R3.5 to areas of residential unit below	
Floor Construction		Covering	Added Insulation	
Concrete		As drawn (if not noted default values used)		R1.5 to unit 401 only
Windows	Glass and frame type	U value	SHGC Range	Area sq m
CMP-003-04	Performance glazing Type A	3.40	0.29 - 0.35	As drawn
CMP-004-04	Performance glazing Type B	3.40	0.30 - 0.36	As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors				
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres				
Skylights	Glass and frame type	U	SHGC	Area sq m
Detail				
Double glazed to unit 2402 - Area as shown on plans				
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified				
Shade elements		(eaves, verandahs, awnings etc)		
All shade elements modelled as drawn				
Ceiling Penetrations		(downlights, exhaust fans, flues etc)		
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA				
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.				
Additional Notes				
Nil				



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Site Plan

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Project no.	S12402	
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BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A01.001	Revision A

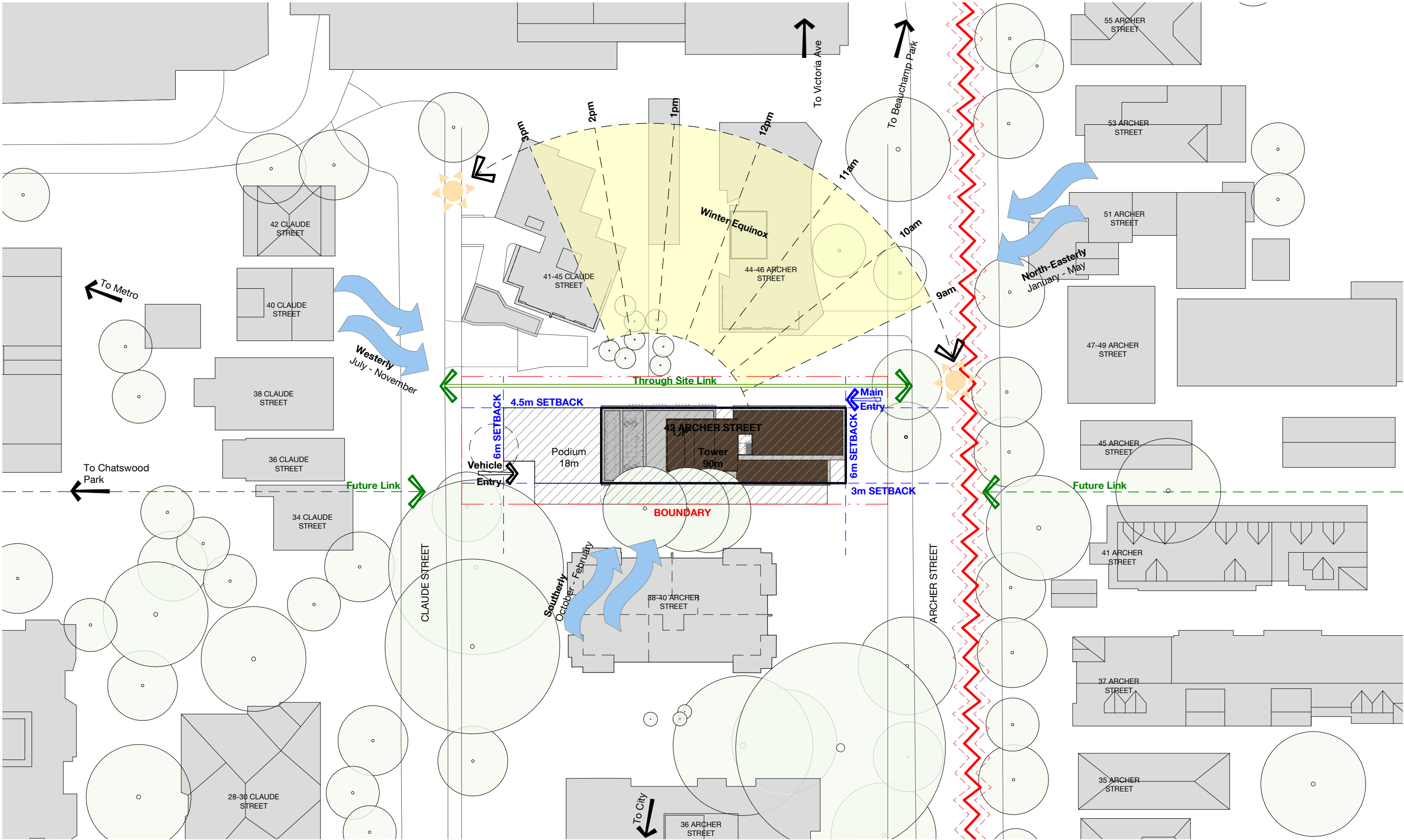
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http://www.batesmart.com.au

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Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

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Rev	Date	Description	INI	CHK



- Legend:**
- Pedestrian Entry
 - Vehicular Entry
 - ↔ Through Site Link
 - ↔ Future Link
 - ⚡ Noisy Road
 - To Infrastructure
 - ☀ Winter Equinox Sun
 - ☁ Predominant Winds
 - Removed Trees
 - Retained Trees

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Site Analysis

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T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
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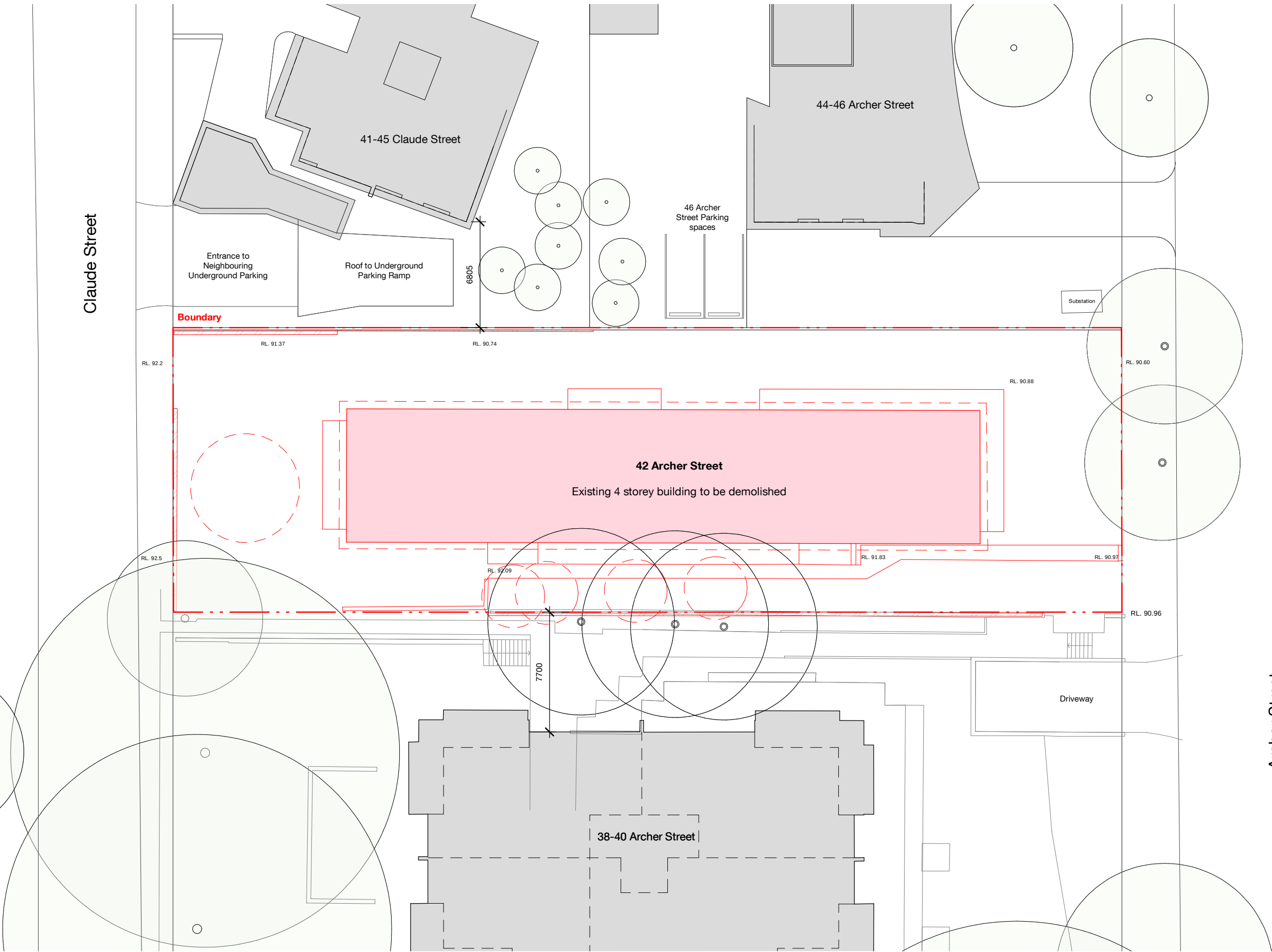
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Claude Street

Archer Street



42 Archer Street, Chatswood

Existing Site Plan

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Project no.	S12402		
Status	Development Application		
Plot Date	17/06/2022 3:23:16 PM		
BIM	ARCHERST_BS_ARCH_R2020		
Drawing no.	Revision		
A01.003		A	

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http://www.batesmart.com.au

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- Legend:**
- Removed Trees
 - Retained Trees

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Ground Level

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Drawing no.	A03.00	Revision A

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email mel@batesmart.com.au
http://www.batesmart.com.au

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T 02 8354 5100 F 02 8354 5199
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Level 01

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T 03 8664 6200 F 03 8664 6300
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T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
http://www.batesmart.com.au

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Level 02

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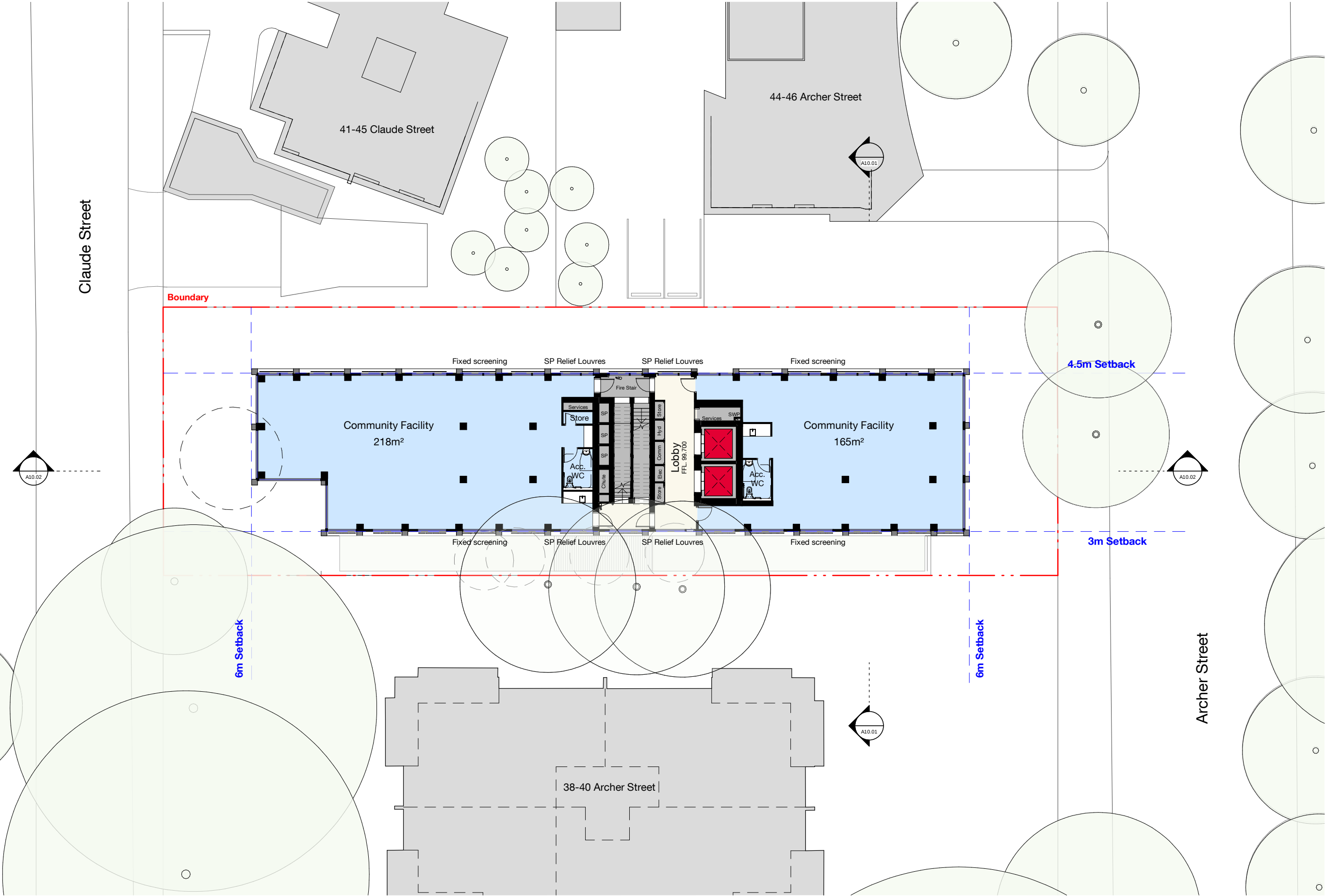
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Level 03

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Plot Date	17/06/2022 3:23:28 PM	
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Typical Plan (Level 4-23)

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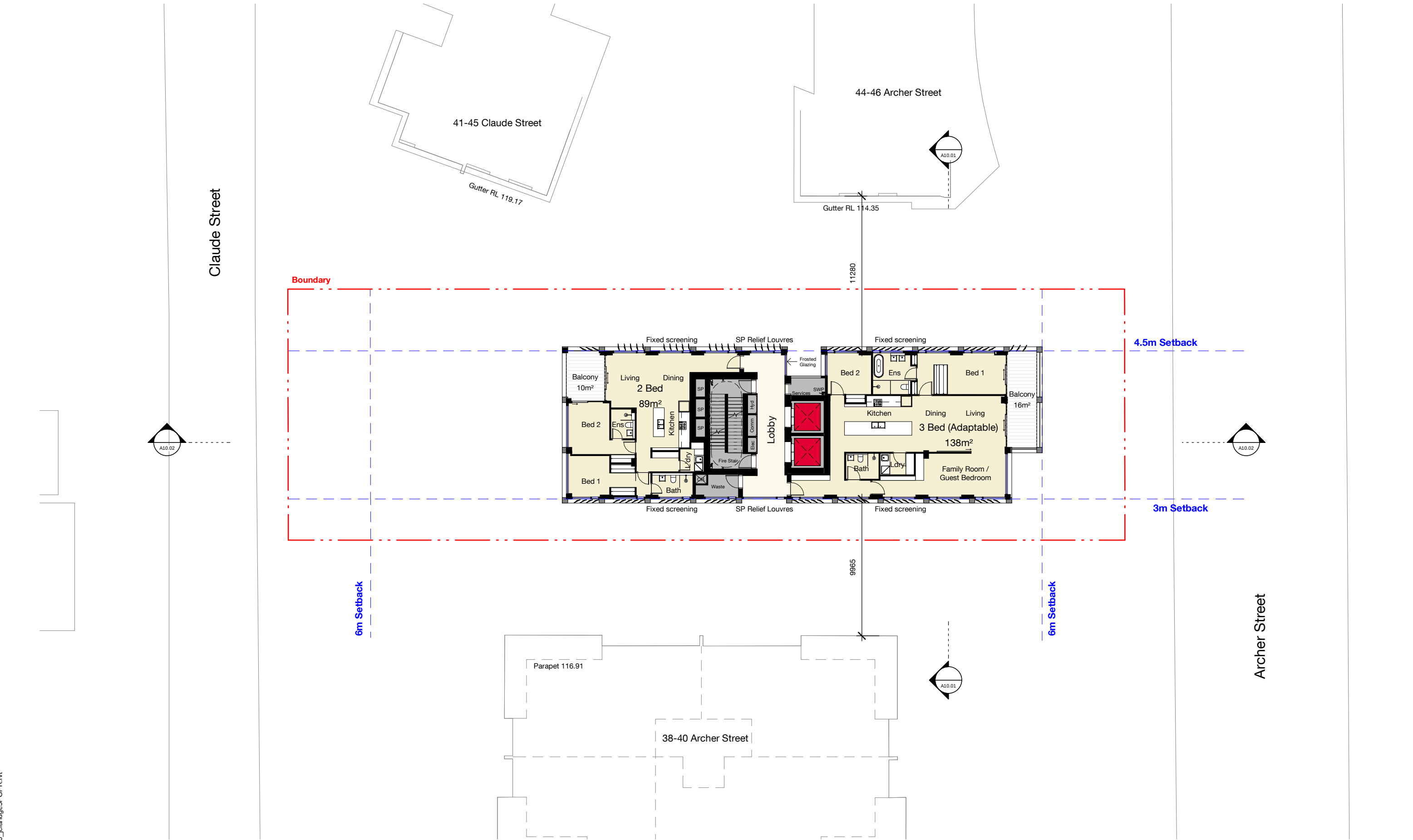
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Level 24

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Plot Date	23/06/2022 5:20:50 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A03.24	Revision A

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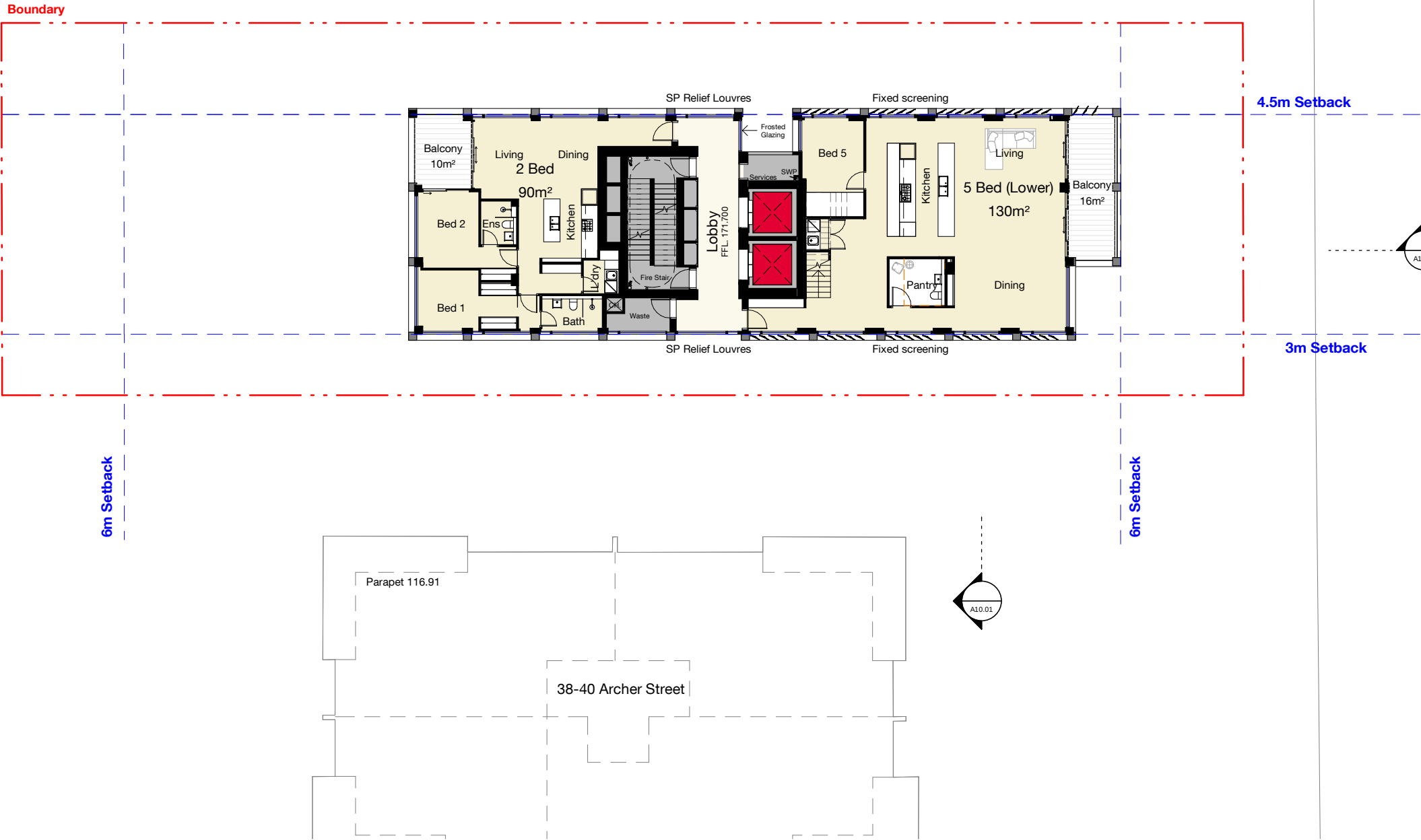
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Claude Street

Archer Street



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Level 25

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BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A03.25	Revision A

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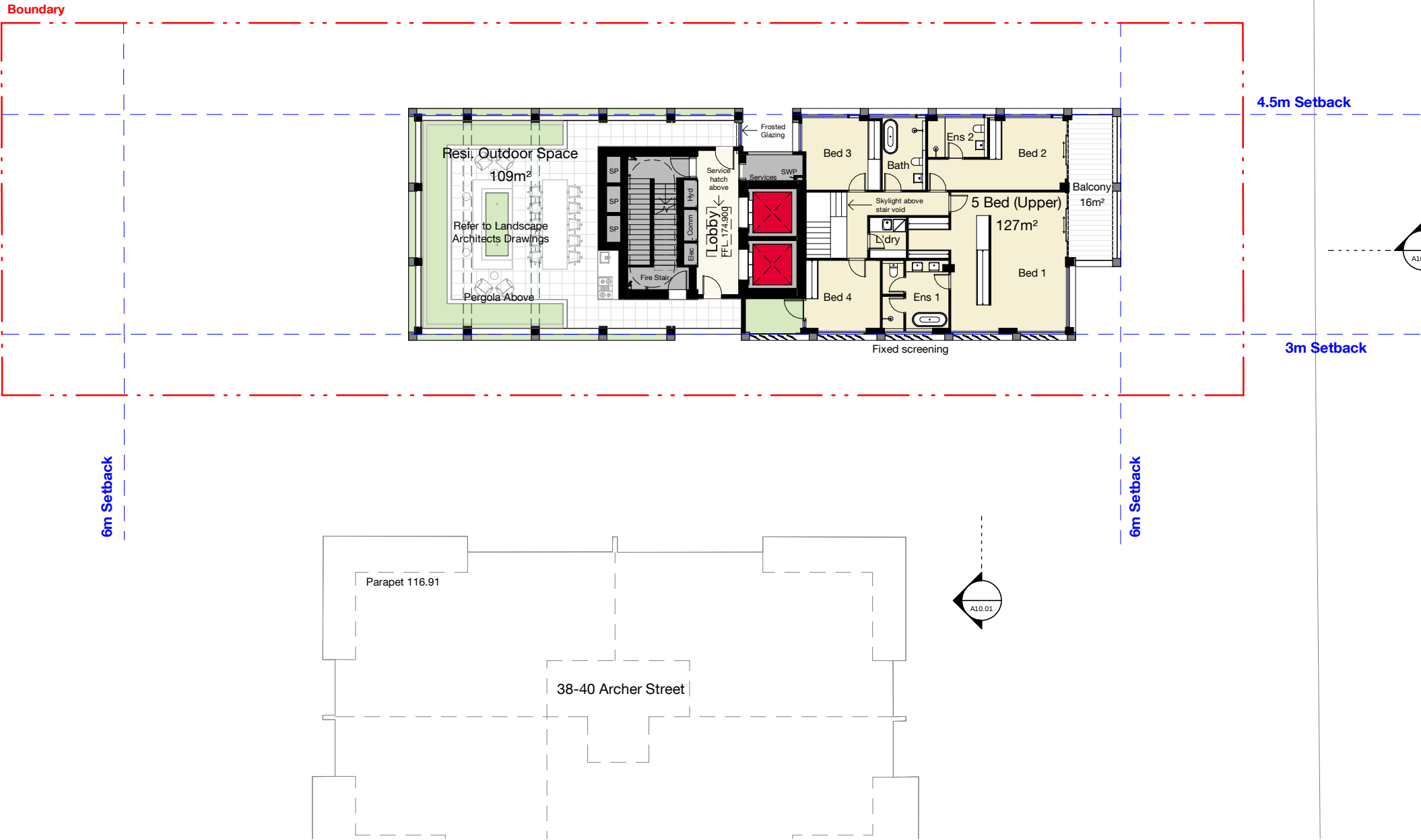
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Claude Street

Archer Street



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Roof Plan

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Plot Date	17/06/2022 3:23:36 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A03.26	Revision A

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http://www.batesmart.com.au

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Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email syd@batesmart.com.au
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BATESSMART™

Claude Street

44-46 Archer Street

41-45 Claude Street

Gutter RL 119.17

Gutter RL 114.35

A10.01

Boundary

4.5m Setback

3m Setback

6m Setback

6m Setback

Archer Street

Residential Outdoor
Space Below

Pergola
Structure

FFL 178.100

SP
Fan

SP
Fan

FFL 178.250

Service Hatch

Lift
Overrun

Lift
Overrun

Sky-
light

Privacy Louvers

Penthouse Roof

Balustrade
PV Panels horizontally mounted
on frame above plant

Plant

FFL 178.250

Hyd. vent
Terminations

Balustrade

FFL 178.250

Penthouse Roof

PV Panels

Terrace
Below

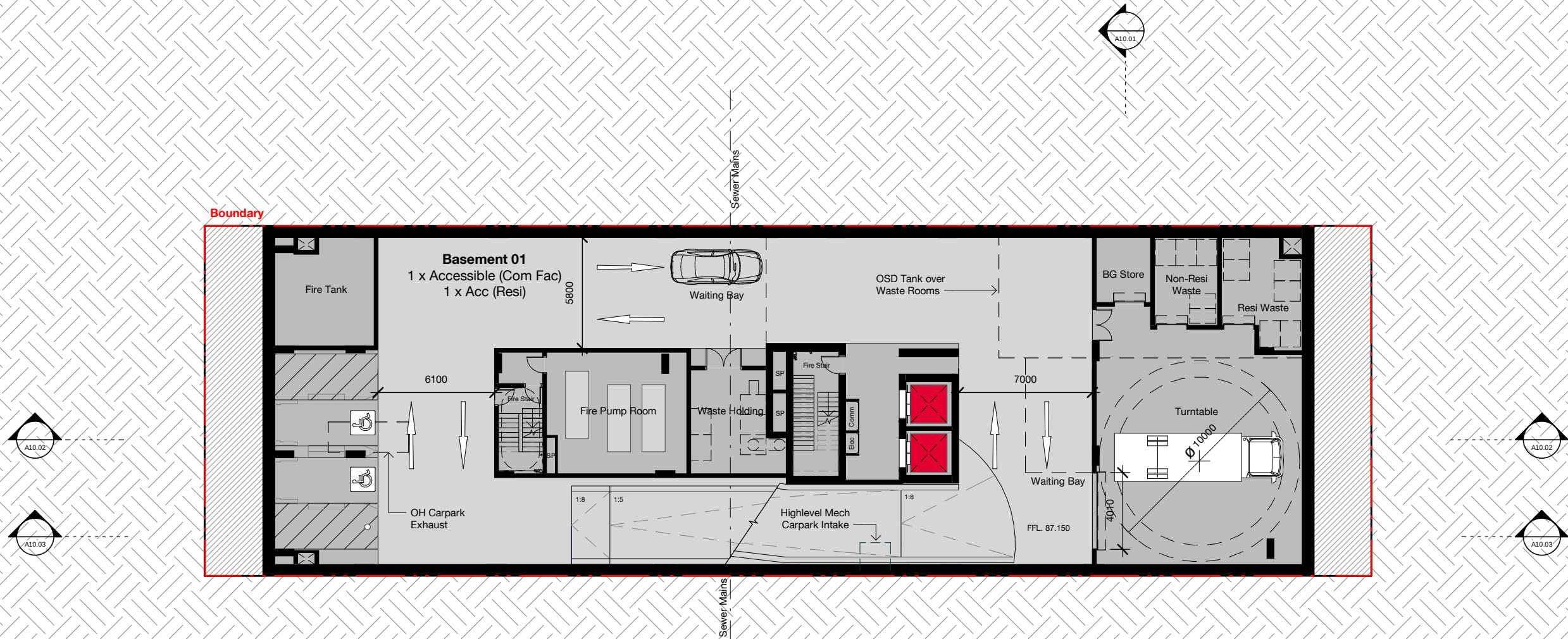
Balustrade

Parapet 116.91

38-40 Archer Street

A10.01





- CAR SPACES SUMMARY
- 1. 22 Residential Car Spaces (Accessible)
 - 2. 7 Community Facility Car Spaces (1 x accessible)
 - 3. 2 Motorbike spaces

42 Archer Street, Chatswood

Basement 01

A	15.06.22	DA Issue	ML	DC
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Project no.	S12402	
Status	Development Application	
Plot Date	17/06/2022 3:23:38 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A03.B01	Revision A

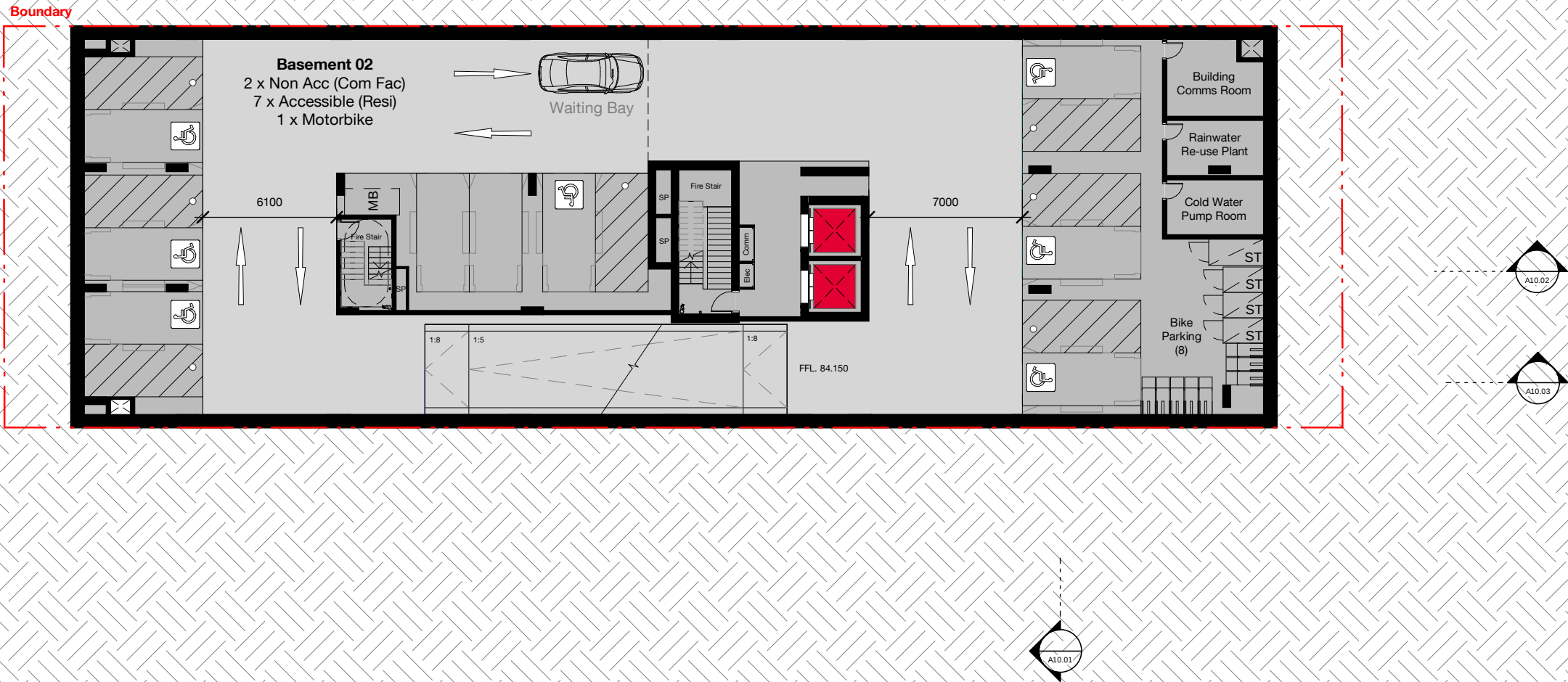
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42 Archer Street, Chatswood

Basement 02

A	15.06.22	DA Issue	ML	DC
4	03.06.22	DA Final Draft	ML	DC
3	18.02.22	DA Draft 2	ML	DC
2	04.02.22	DA Draft	ML	DC
1	17.12.21	Consultant Consultation	ML	DC
Rev	Date	Description	INI	CHK

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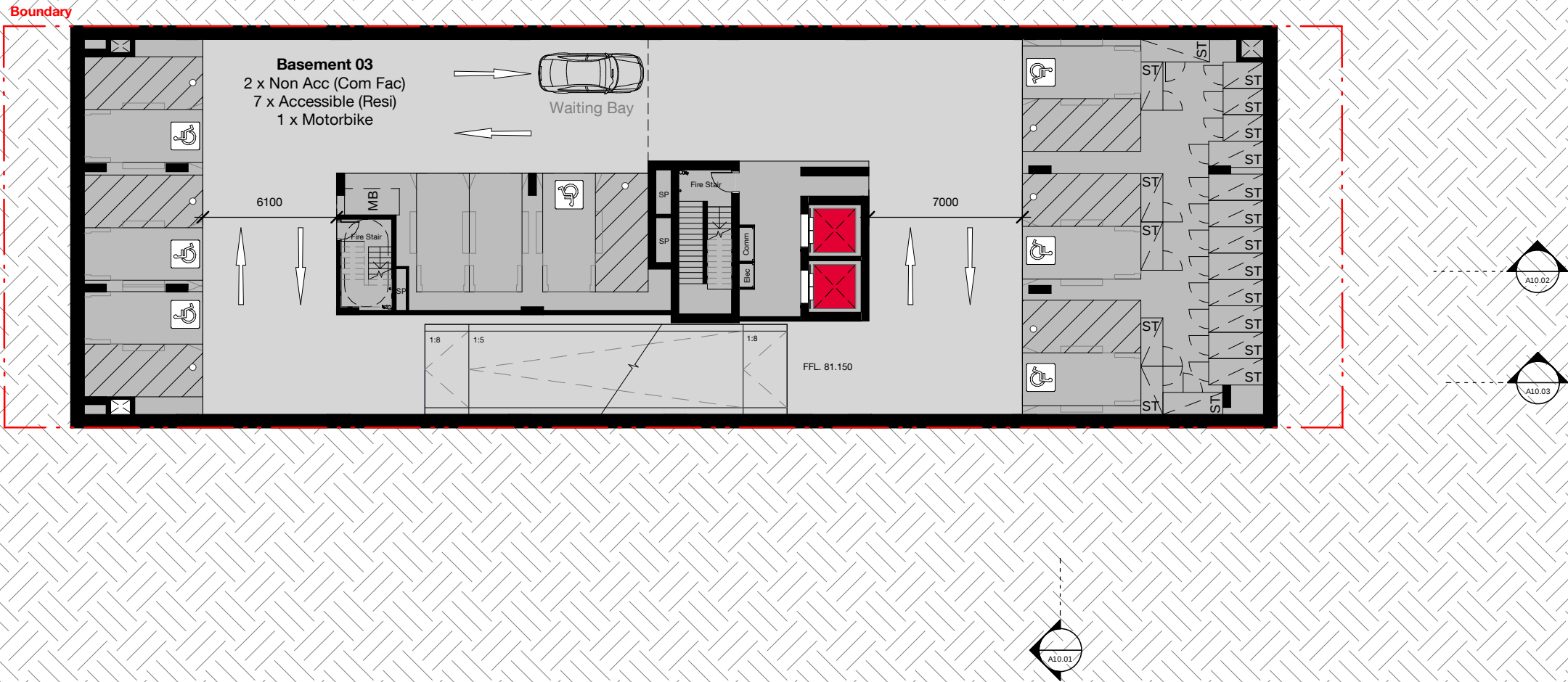
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42 Archer Street, Chatswood

Basement 03

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Plot Date	17/06/2022 3:23:41 PM	
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Drawing no.	A03.B03	Revision A

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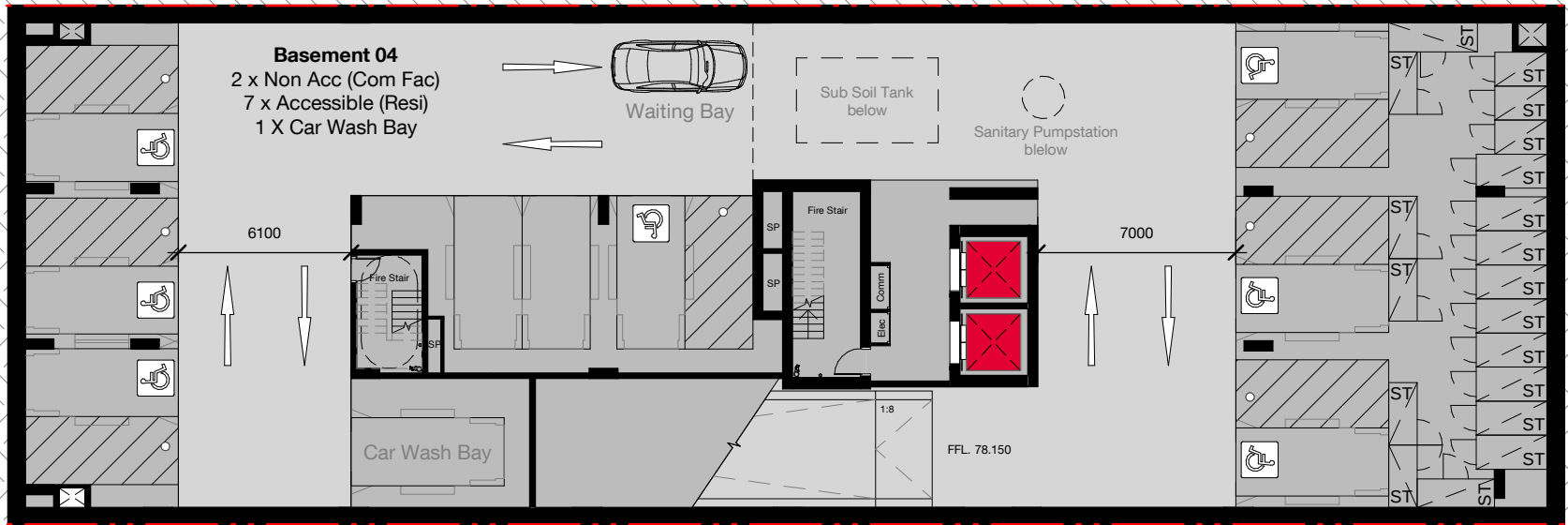
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4	03.06.22	DA Final Draft	ML	DC
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1	17.12.21	Consultant Consultation	ML	DC
Rev	Date	Description	INI	CHK

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Boundary



42 Archer Street, Chatswood

Basement 04

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3	18.02.22	DA Draft 2	ML	DC
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1	17.12.21	Consultant Consultation	ML	DC
Rev	Date	Description	INI	CHK

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Drawing no.	A03.B04	Revision A

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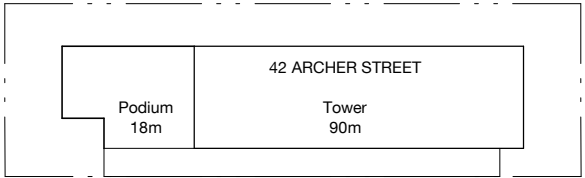
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CLAUDE STREET



ARCHER STREET



Operable Glazing

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3	03.06.22	DA Final Draft	ML	DC
2	18.02.22	DA Draft 2	ML	DC
1	04.02.22	DA Draft	ML	DC
Rev	Date	Description	INI	CHK

42 Archer Street, Chatswood

East Elevation (Archer Street)

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Plot Date	17/06/2022 3:23:58 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A09.01	Revision A

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Material & Finishes

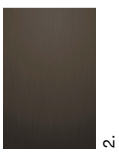
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2. Solid Aluminium Vertical Sunshades - with perforated face "Dark Bronze" Colour
3. Solid Aluminium Cladding "Medium Bronze" Colour
4. Performance Vision Glass with Aluminium framing - "Dark bronze" Colour
5. Frameless Glass Balustrades
6. Perforated Aluminium Vertical Sunshades "Dark Bronze" Colour

7. Metal Palisade Balustrades "Dark Bronze" Colour
8. Aluminium Louvres "Dark Bronze" Colour
9. Aluminium Louvres "Medium Bronze" Colour
10. Metal Awning "Dark Bronze" Colour
11. Metal Roller Door "Dark Bronze" Colour
12. Planting

Plant Selection by Landscape Architects



1.



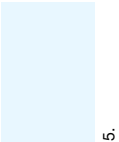
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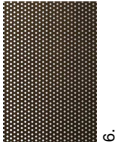
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4.



5.



6.



7.



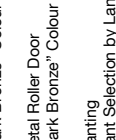
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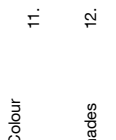
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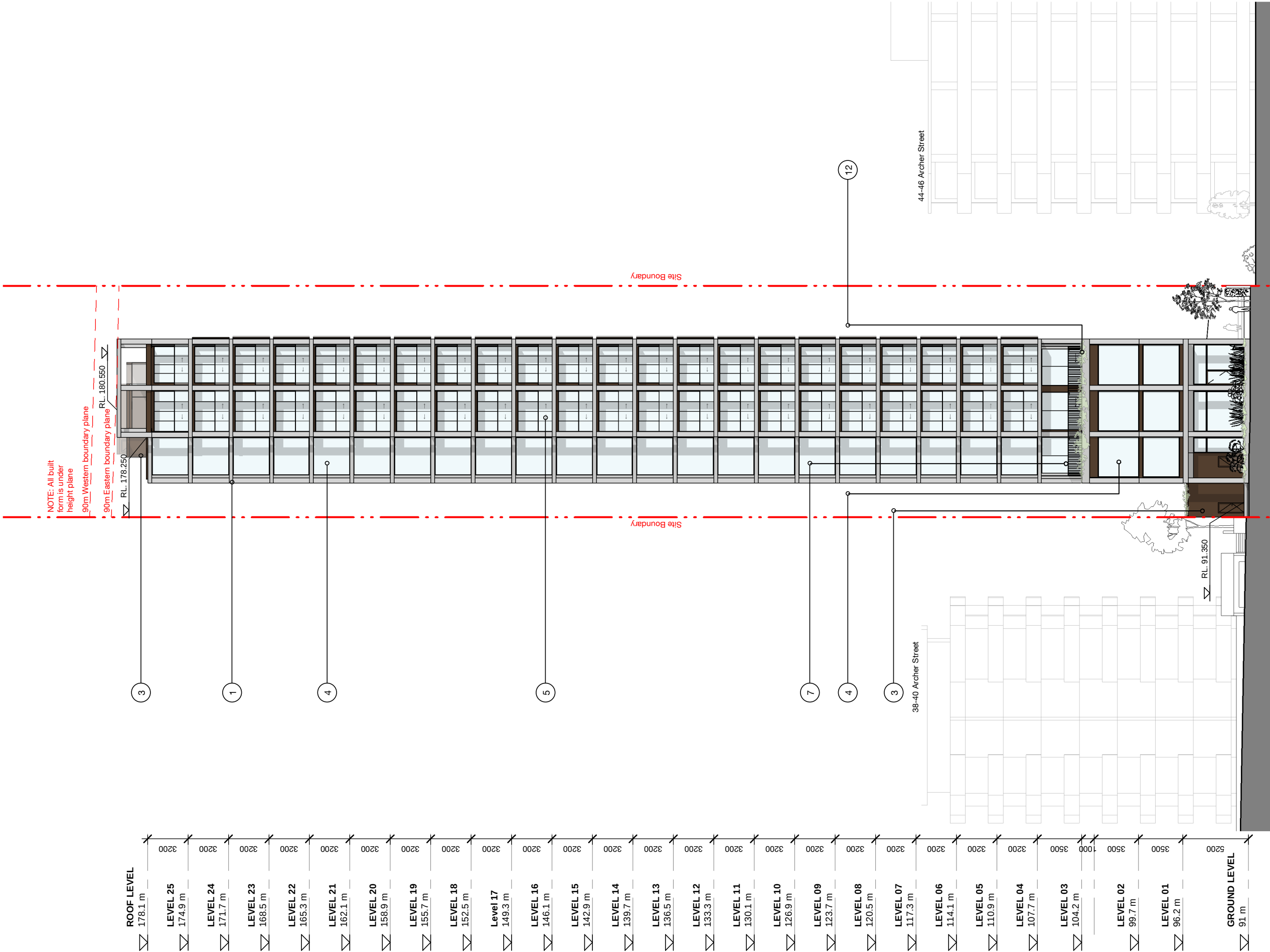
10.



11.



12.



NOTE: All built form is under height plane

90m Western boundary plane

90m Eastern boundary plane

RL 178.250

RL 180.550

Site Boundary

Site Boundary

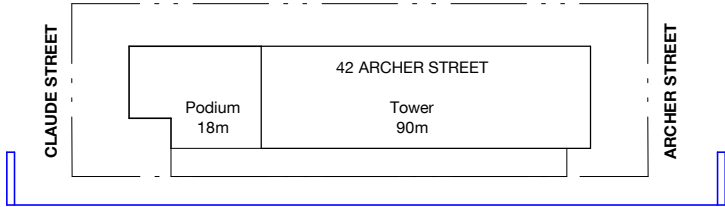
44-46 Archer Street

38-40 Archer Street

RL 91.350

GROUND LEVEL

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42 Archer Street, Chatswood

South Elevation

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Plot Date	17/06/2022 3:24:11 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A09.02	Revision A

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NOTE: All built form is under height plane

90m Southern boundary plane

90m Northern boundary plane

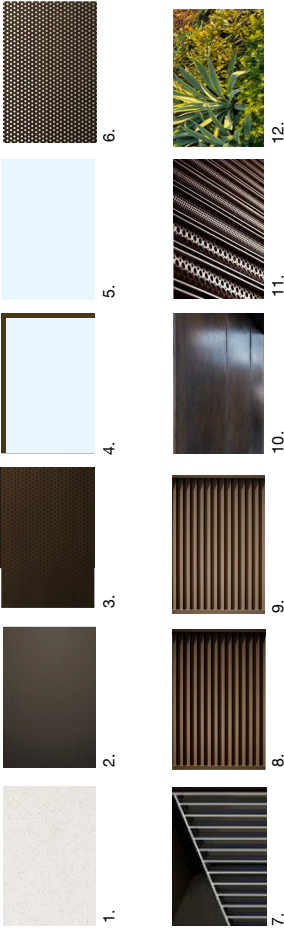
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LEVEL 25	174.9 m
LEVEL 24	171.7 m
LEVEL 23	168.5 m
LEVEL 22	165.3 m
LEVEL 21	162.1 m
LEVEL 20	158.9 m
LEVEL 19	155.7 m
LEVEL 18	152.5 m
Level 17	149.3 m
LEVEL 16	146.1 m
LEVEL 15	142.9 m
LEVEL 14	139.7 m
LEVEL 13	136.5 m
LEVEL 12	133.3 m
LEVEL 11	130.1 m
LEVEL 10	126.9 m
LEVEL 09	123.7 m
LEVEL 08	120.5 m
LEVEL 07	117.3 m
LEVEL 06	114.1 m
LEVEL 05	110.9 m
LEVEL 04	107.7 m
LEVEL 03	104.2 m
LEVEL 02	99.7 m
LEVEL 01	96.2 m
GROUND LEVEL	91 m

Operable Glazing

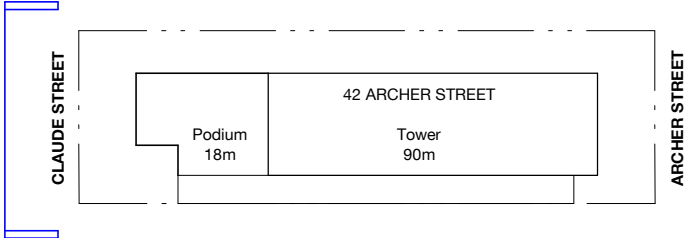
Material & Finishes

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2.	Solid Aluminium Vertical Sunshades - with perforated face "Dark Bronze" Colour	8.	Aluminium Louvres "Dark Bronze" Colour
3.	Solid Aluminium Cladding "Medium Bronze" Colour	9.	Aluminium Louvres "Medium Bronze" Colour
4.	Performance Vision Glass with Aluminium framing - "Dark bronze" Colour	10.	Metal Awning "Dark Bronze" Colour
5.	Frameless Glass Balustrades	11.	Metal Roller Door "Dark Bronze" Colour
6.	Perforated Aluminium Vertical Sunshades "Dark Bronze" Colour	12.	Planting

Plant Selection by Landscape Architects



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Rev	Date	Description	INI	CHK

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West Elevation (Claude Street)

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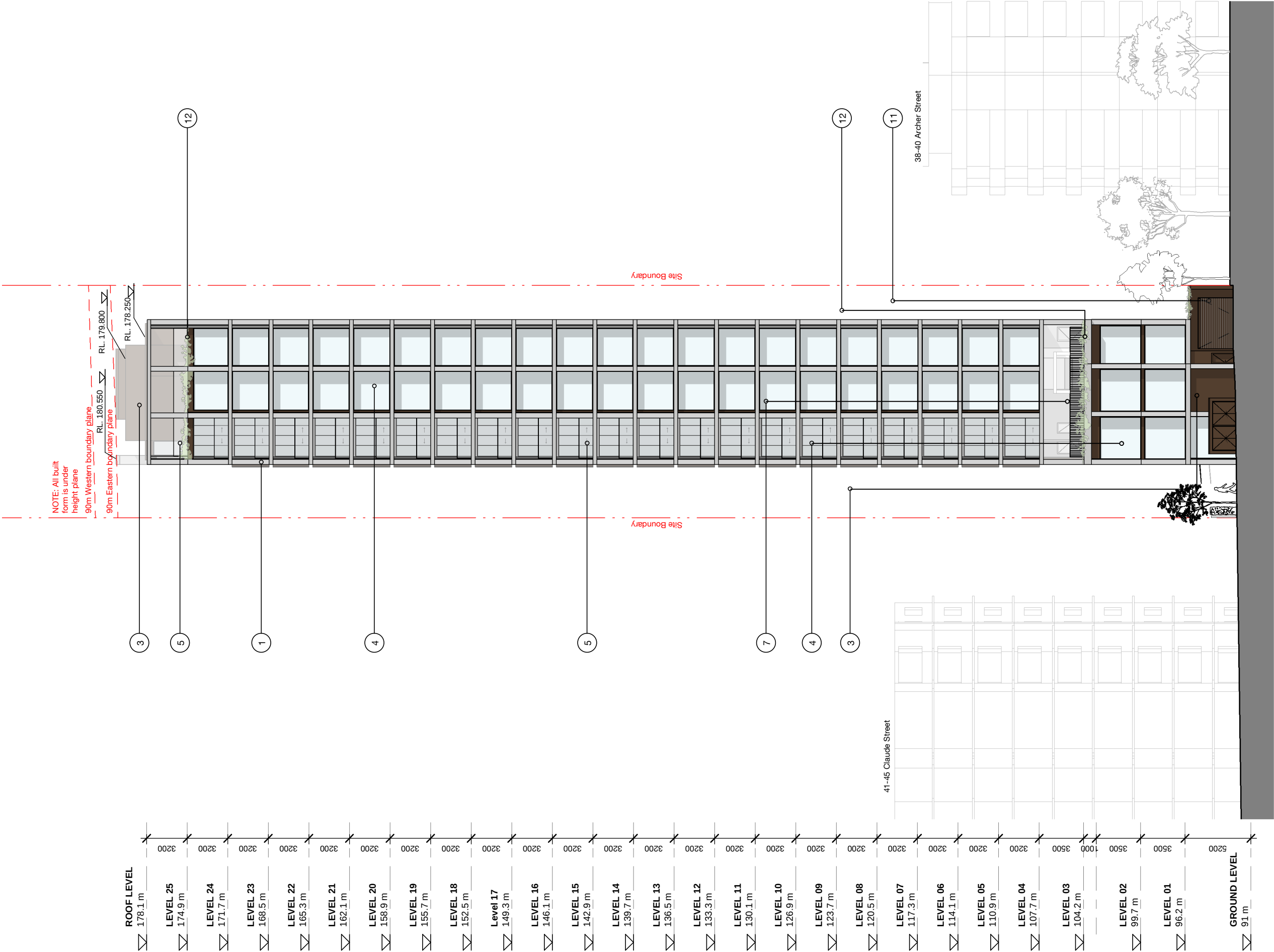
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Status	Development Application	
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BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A09.03	Revision A

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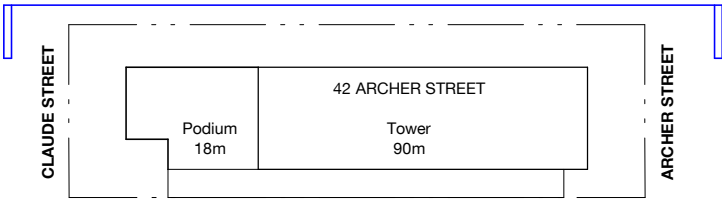
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2	18.02.22	DA Draft 2	ML	DC
1	04.02.22	DA Draft	ML	DC

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North Elevation

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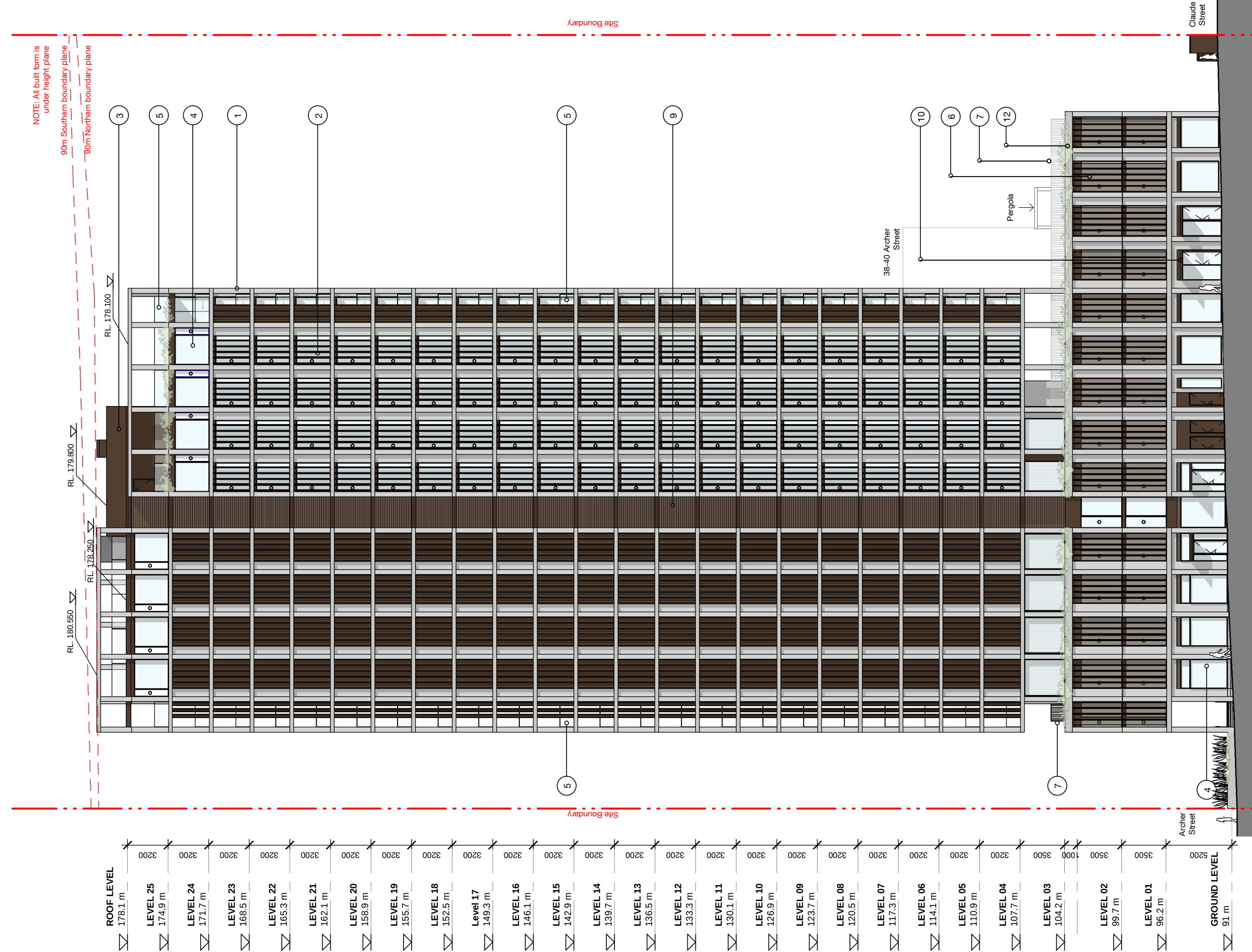
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BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A09.04	Revision A

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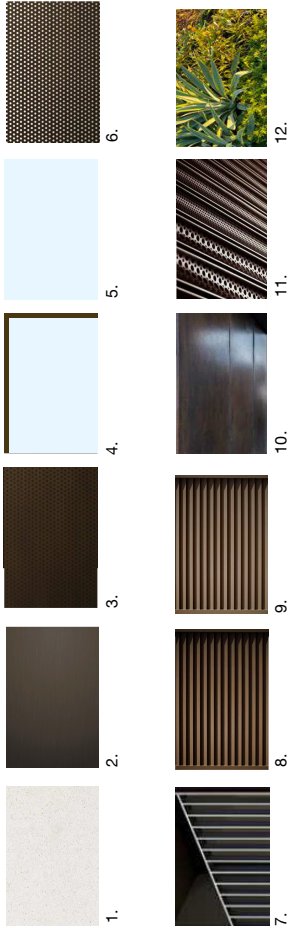
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Material & Finishes

- | | | | |
|----|--|-----|--|
| 1. | Glass Reinforced Concrete (GRC) Cladding "Light Grey" colour | 7. | Metal Palisade Balustrades "Dark Bronze" Colour |
| 2. | Solid Aluminium Vertical Sunshades - with perforated face "Dark Bronze" Colour | 8. | Aluminium Louvers "Dark Bronze" Colour |
| 3. | Solid Aluminium Cladding "Medium Bronze" Colour | 9. | Aluminium Louvers "Medium Bronze" Colour |
| 4. | Performance Vision Glass with Aluminium framing - "Dark bronze" Colour | 10. | Metal Awning "Dark Bronze" Colour |
| 5. | Frameless Glass Balustrades | 11. | Metal Roller Door "Dark Bronze" Colour |
| 6. | Perforated Aluminium Vertical Sunshades "Dark Bronze" Colour | 12. | Planting Plant Selection by Landscape Architects |



42 Archer Street, Chatswood

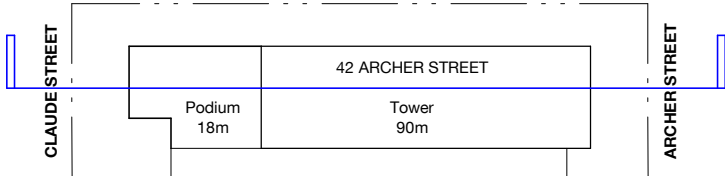
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	1	04.02.22	DA Draft	ML	DC
				INI	CHK

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Section BB

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Drawing no.	Revision	

A10.02

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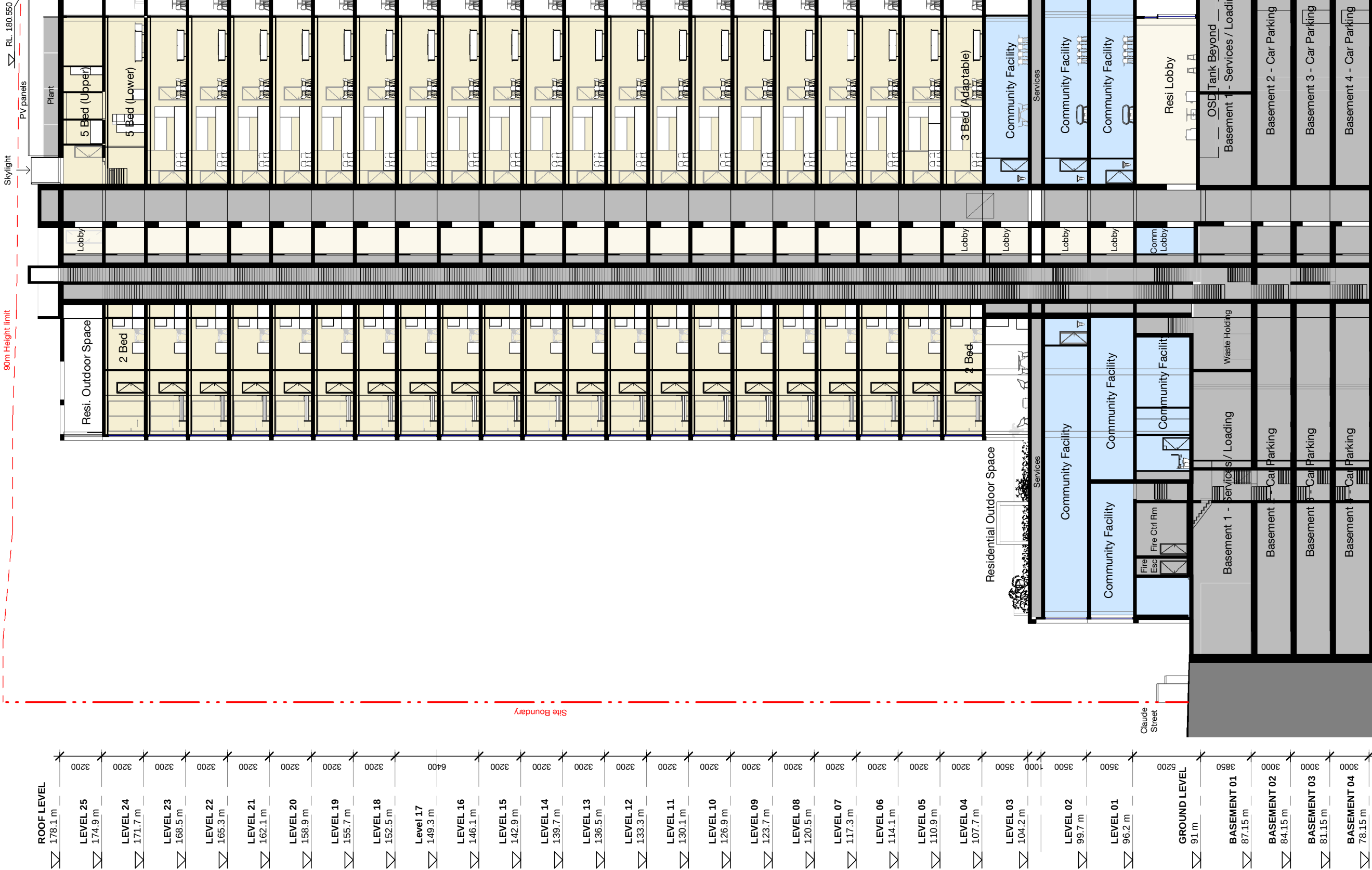
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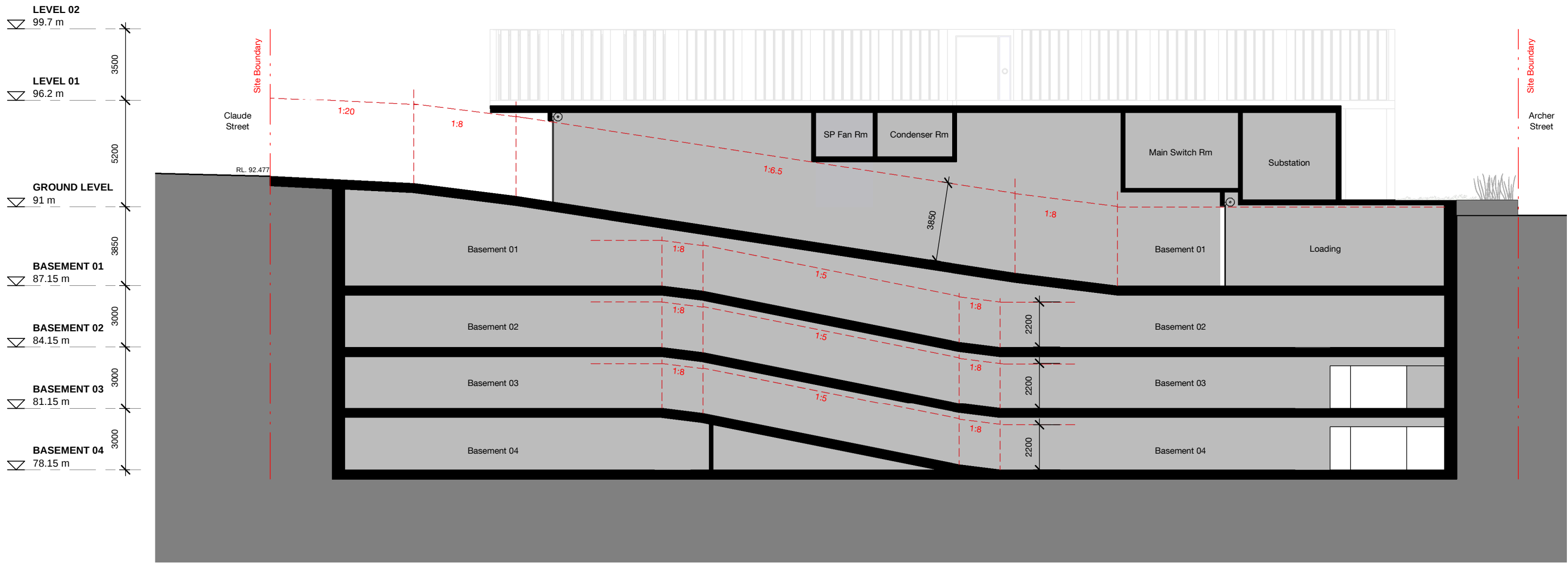
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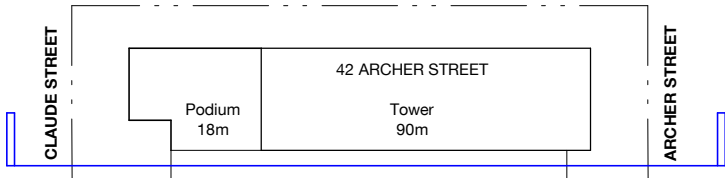
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Basement Ramp Section
Scale 1:200 @ A3



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1	03.06.22	DA Final Draft	ML	DC
Rev	Date	Description	INI	CHK

42 Archer Street, Chatswood

Basement Ramp Section

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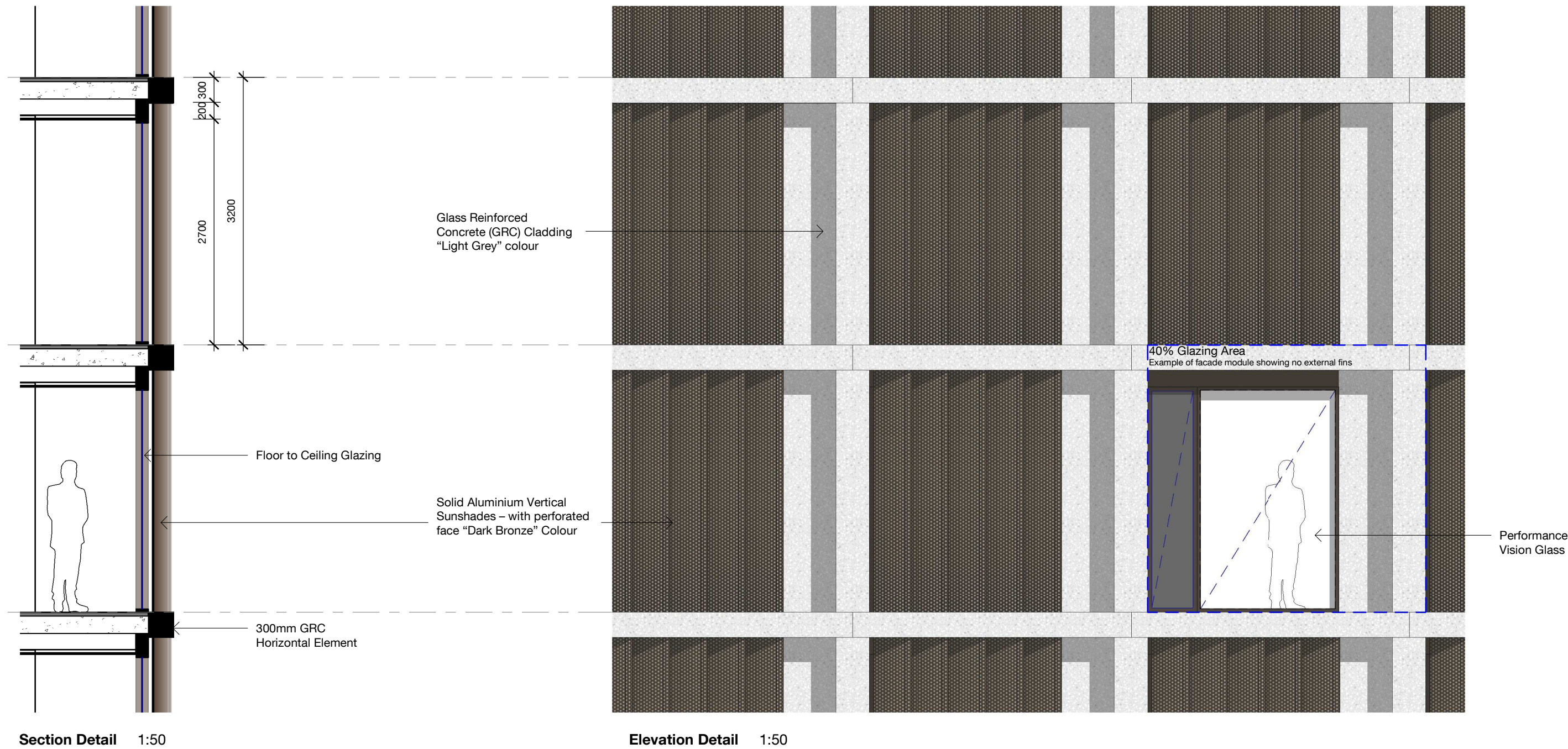
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Drawing no.	A10.03	Revision A

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Elevation Detail 1:50

Plan Detail 1:50

42 Archer Street, Chatswood

Facade detail

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Drawing no.	A11.01	Revision A

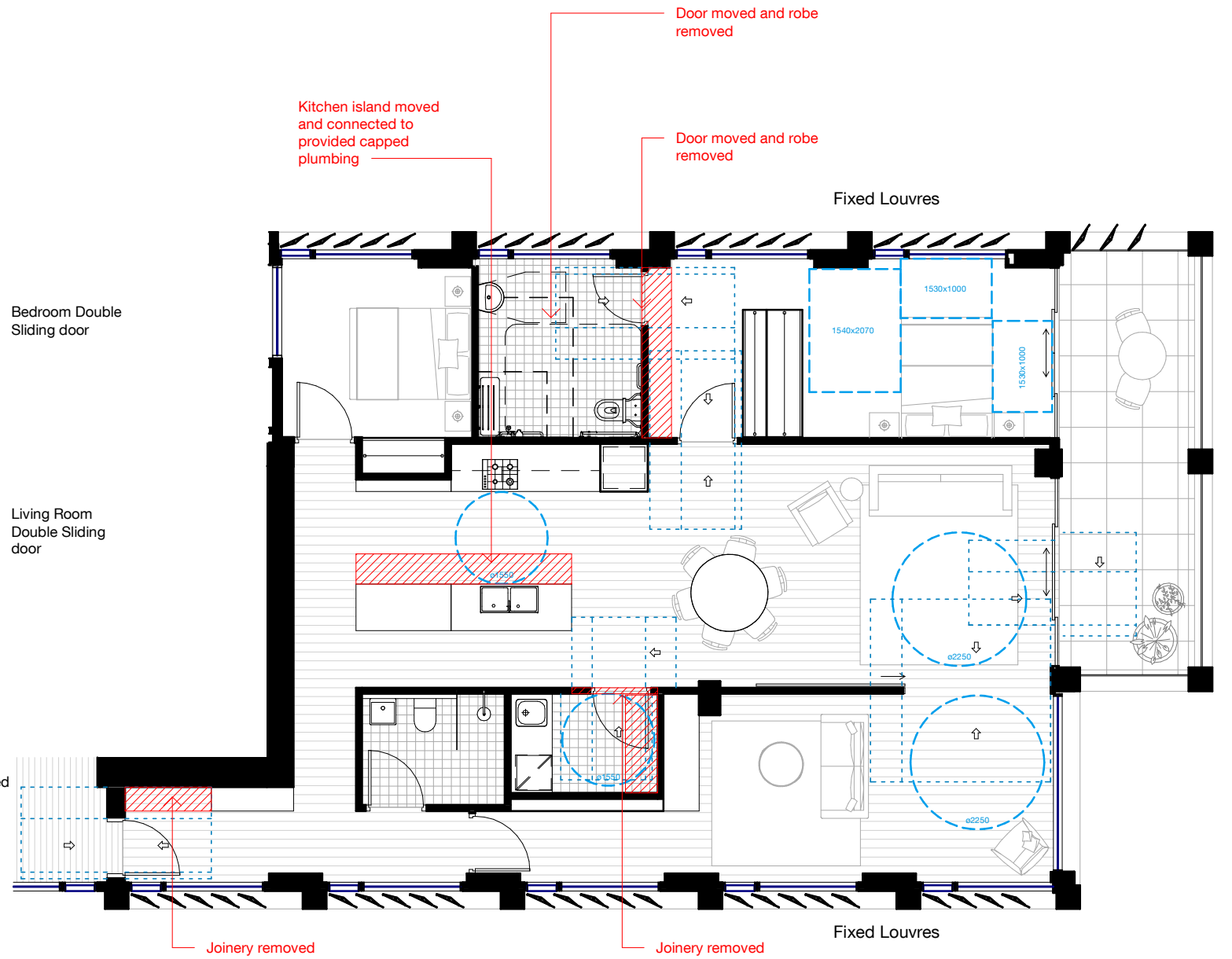
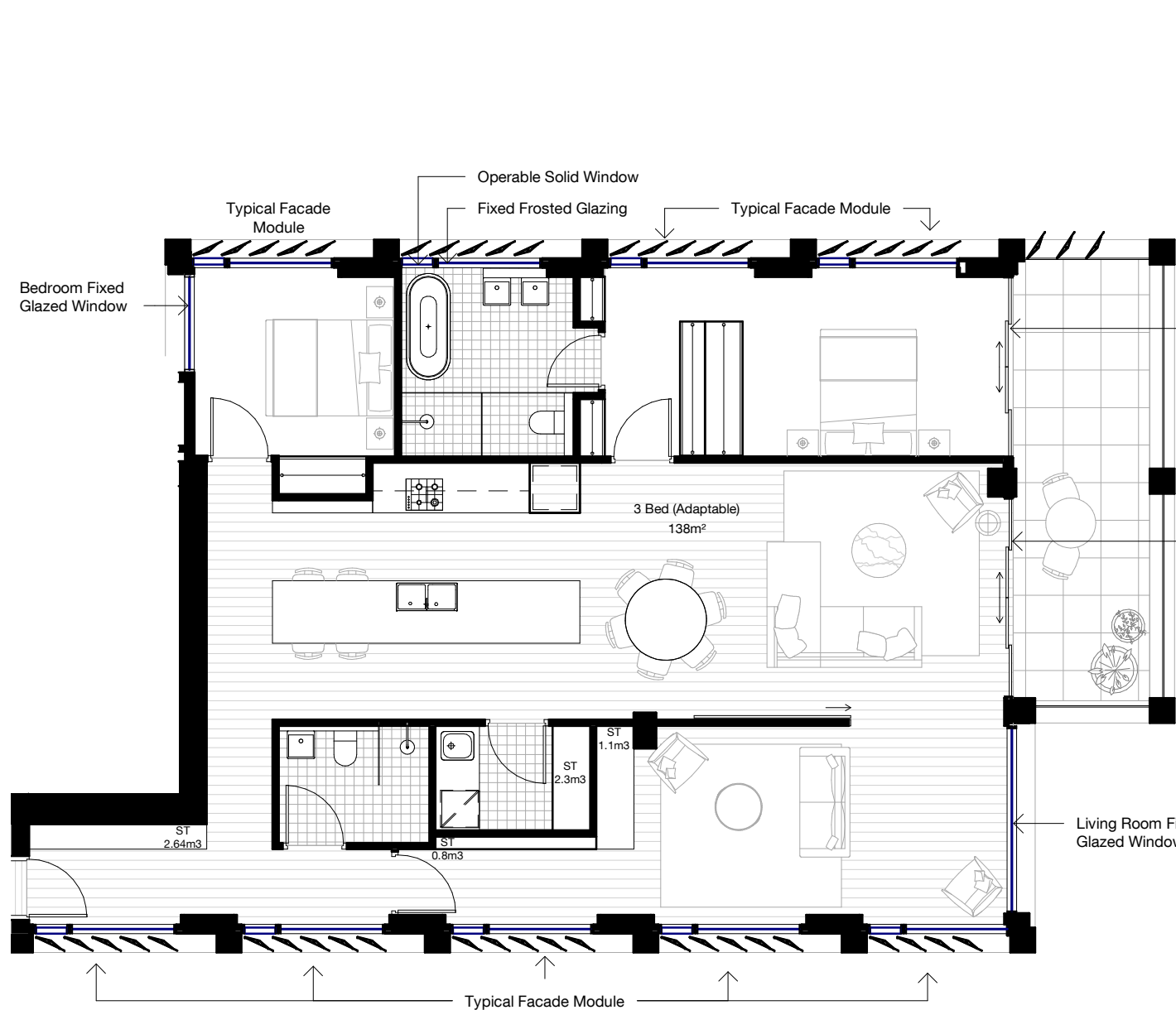
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1	03.06.22	DA Final Draft	ML	DC
Rev	Date	Description	INI	CHK



01 3 Bedroom Pre Adaption
Plan
1 : 100

02 3 Bedroom Post Adaption
1 : 100

Storage volume within apartment 6.8m³
Storage Cage Type B in basement 6m³
TOTAL 12.8m³

42 Archer Street, Chatswood

Apartment Layouts

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Status	Development Application	
Plot Date	23/06/2022 5:20:55 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A13.01	Revision A

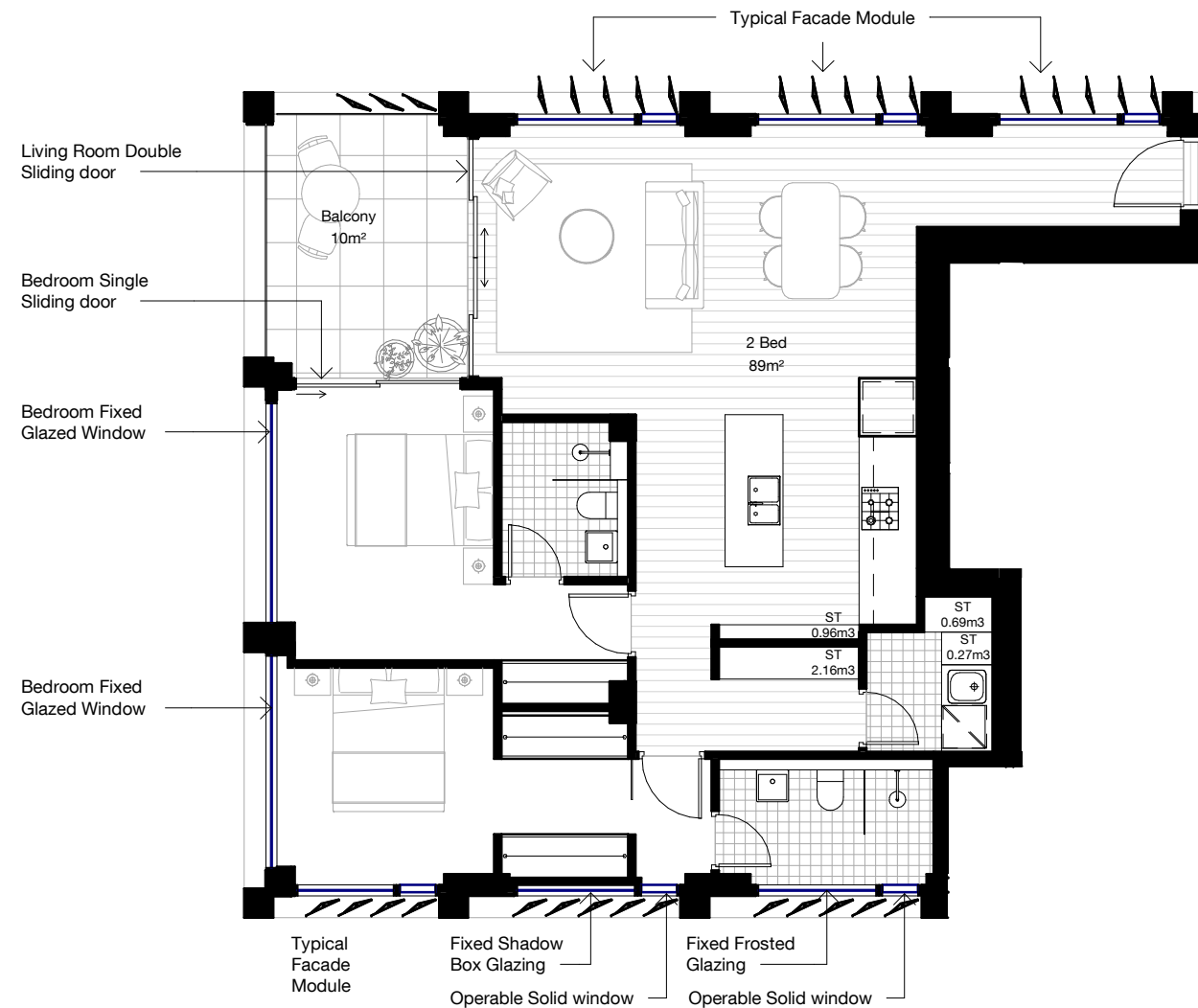
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1	17.12.21	Consultant Consultation	ML	DC
2	04.02.22	DA Draft	ML	DC
3	18.02.22	DA Draft 2	ML	DC
4	03.06.22	DA Final Draft	ML	DC
A	15.06.22	DA Issue	ML	DC



01

2 Bedroom Typical

1 : 100

Storage volume within apartment	4.08m³
Storage Cage Type A in basement	4.4m³
TOTAL	8.48m³

42 Archer Street, Chatswood

Apartment Layouts

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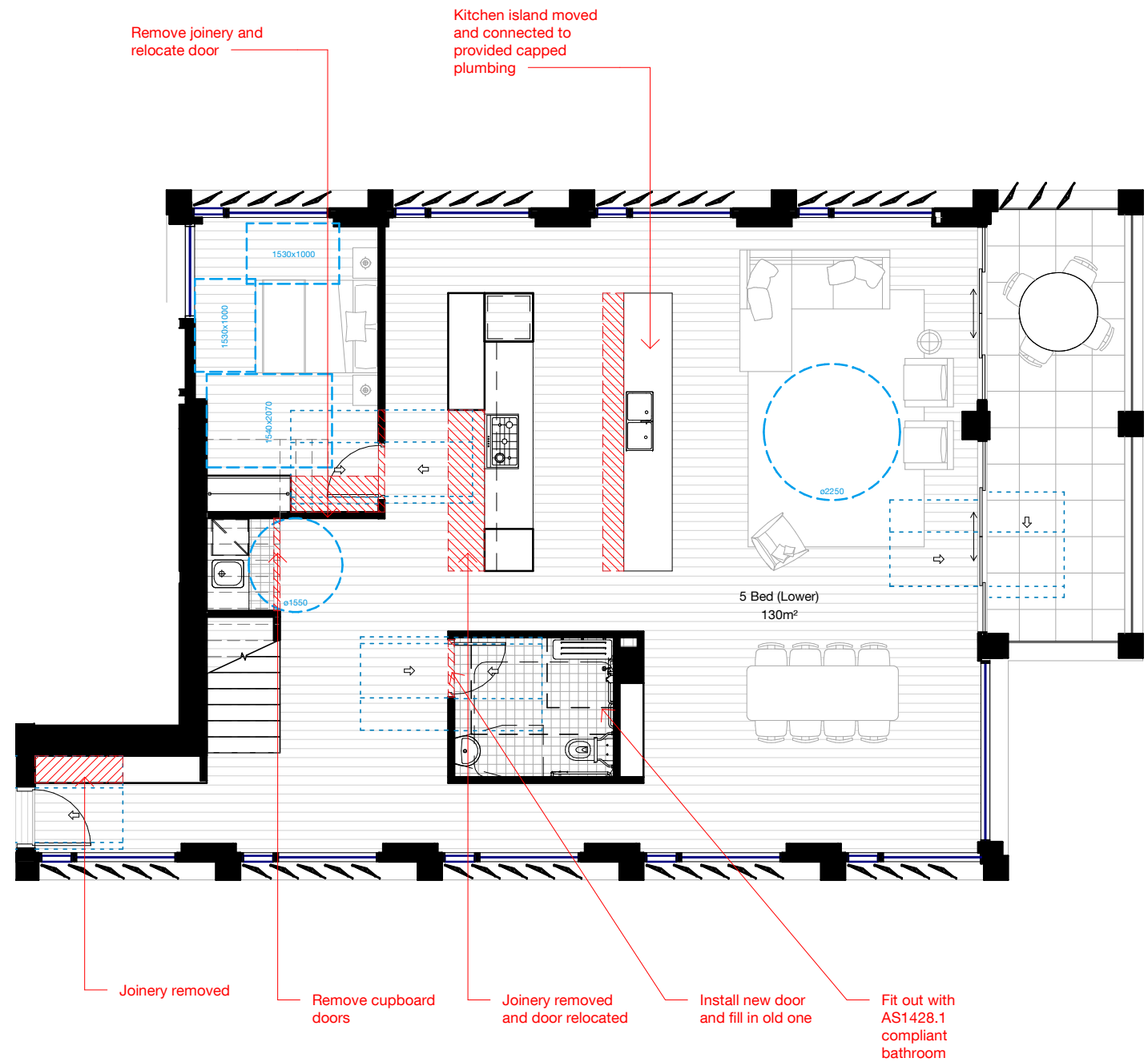
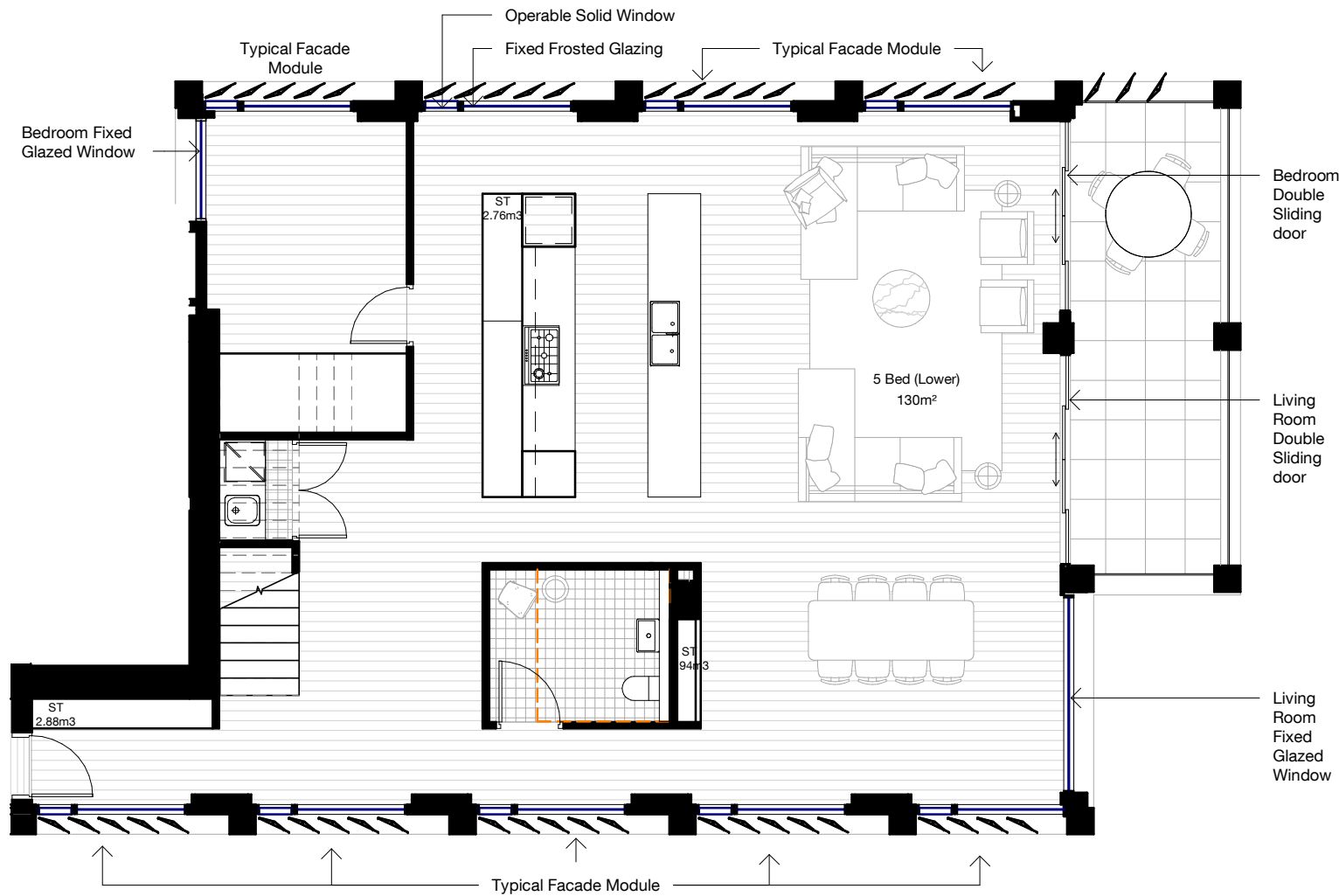
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Drawing no.	A13.02	Revision A

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01 5 Bed Lower Plan (Level 24) Pre Adaption

1 : 100

02 5 Bed Lower Plan (Level 24) Post Adaption

1 : 100

Storage volume within apartment
Storage Cage Type B in basement

7m³
6m³

TOTAL 13m³

42 Archer Street, Chatswood

Apartment Layouts

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Drawn DC Checked ML

Project no. S12402

Status Development Application

Plot Date 23/06/2022 5:20:59 PM

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Drawing no. Revision

A13.03

A

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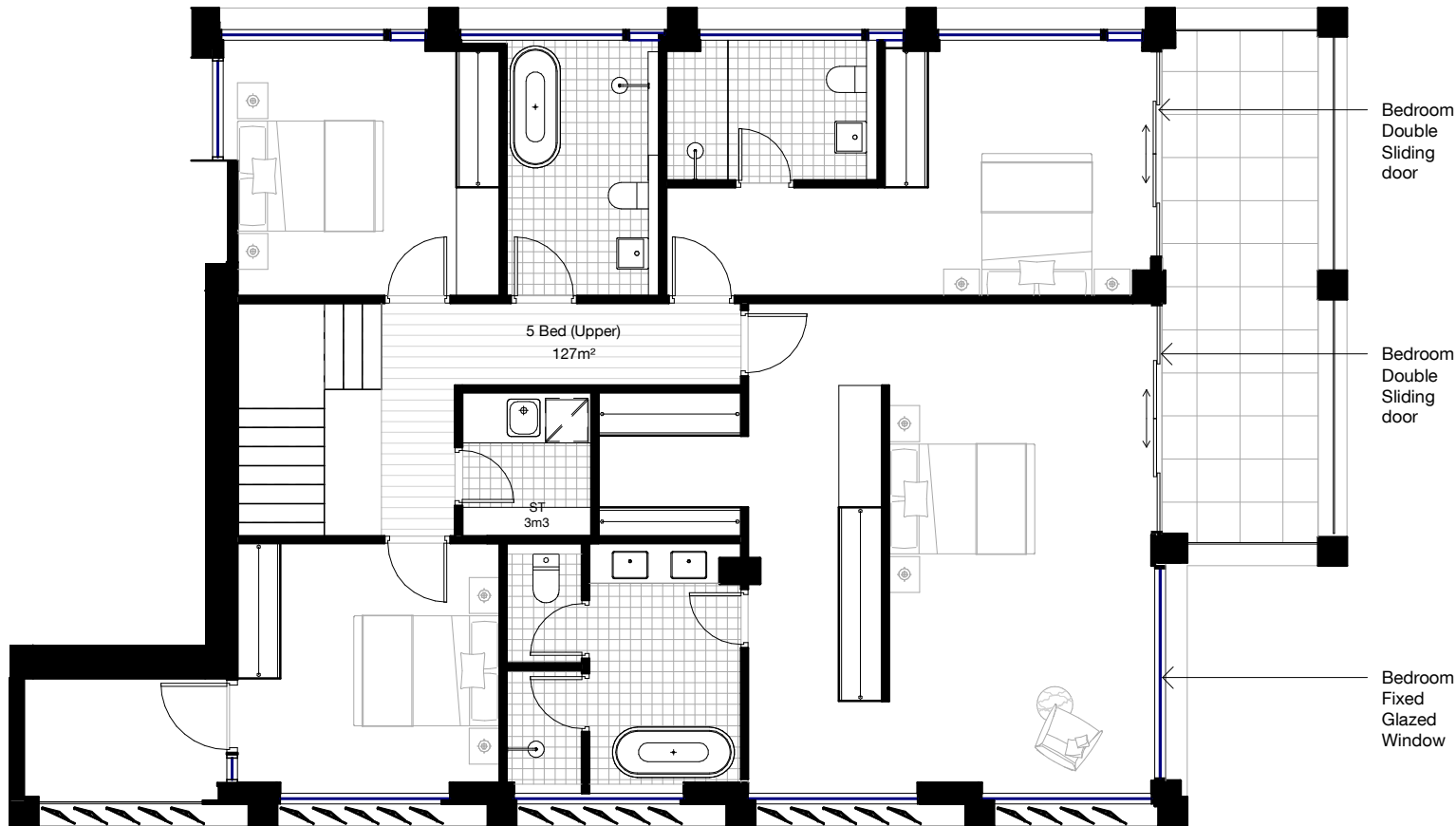
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1	03.06.22	DA Final Draft	ML	DC



01 5 Bed Upper Plan (Level 25)
Plan

1 : 100

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Apartment Layouts

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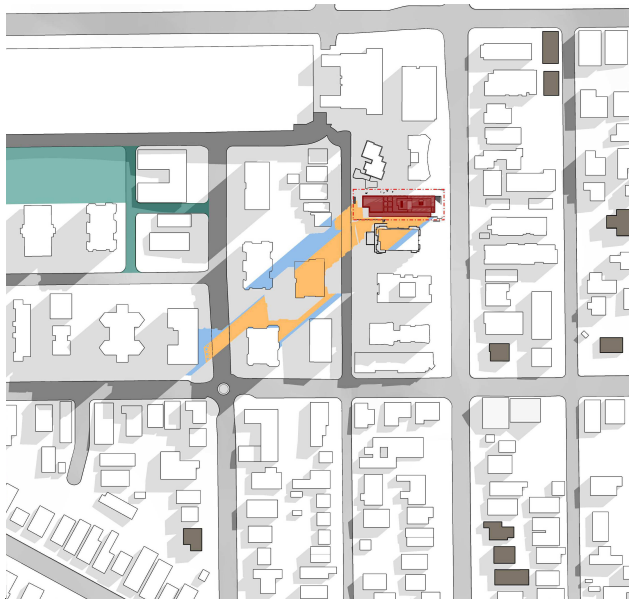
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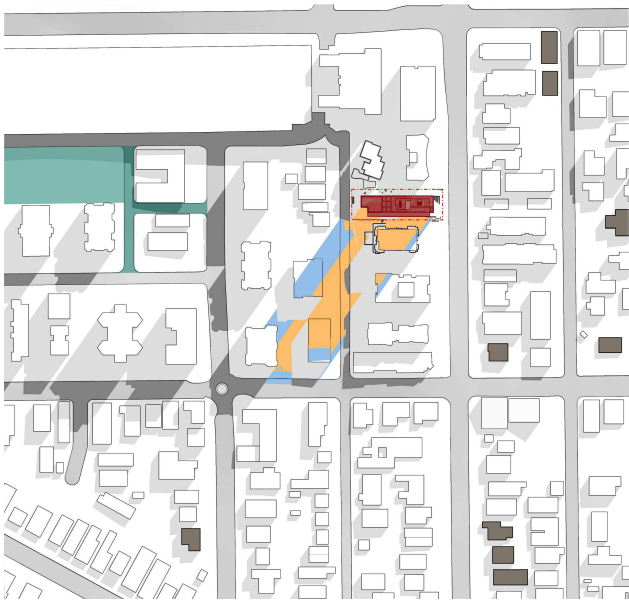
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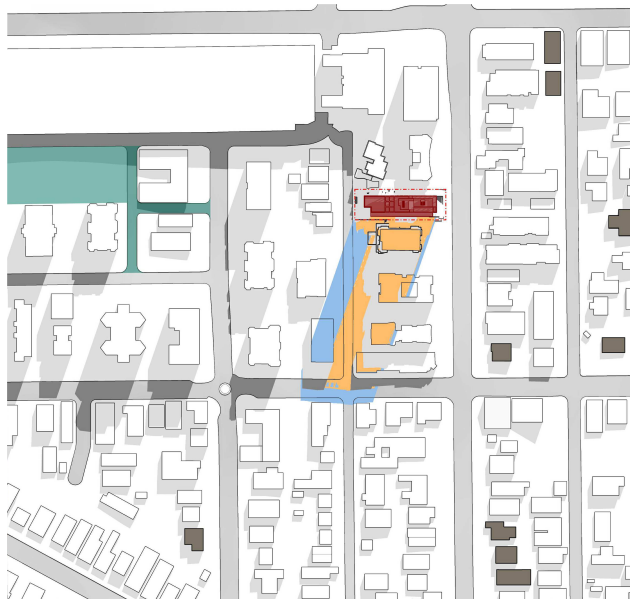
Winter Solstice 9AM



Winter Solstice 10AM



Winter Solstice 11AM



Winter Solstice 12PM



Winter Solstice 1PM



Winter Solstice 2PM



Winter Solstice 3PM

- Shadow cast by the Planning and Urban Design Strategy 2036 Building Envelope
- Shadow cast by the Proposed Built Form
- Heritage item
- Open space
- Proposed Building

A	15.06.22	DA Issue	ML	DC
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1	18.02.22	DA Draft 2	ML	DC
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42 Archer Street, Chatswood

Shadow Analysis Diagrams

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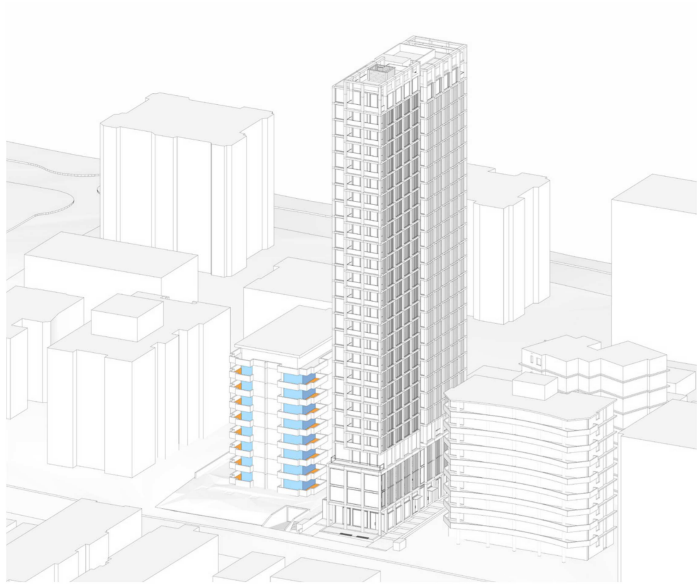
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Status	Development Application	
Plot Date	17/06/2022 3:25:10 PM	
BIM	ARCHERST_BS_ARCH_R2020	
Drawing no.	A21.01	Revision A

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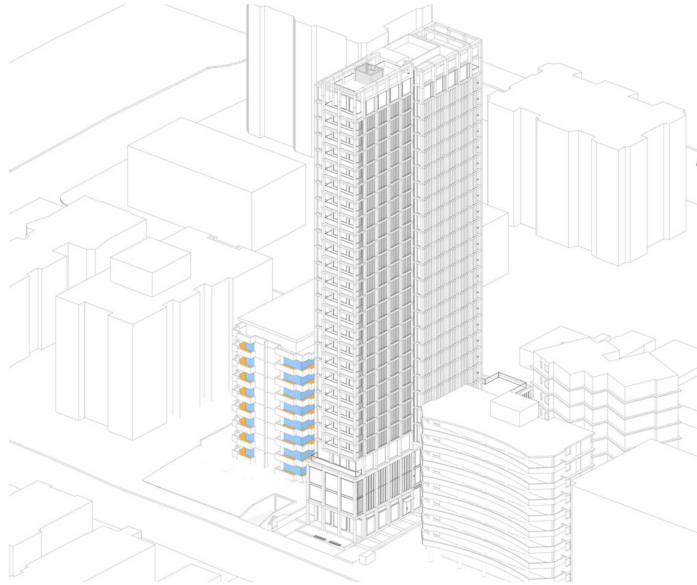
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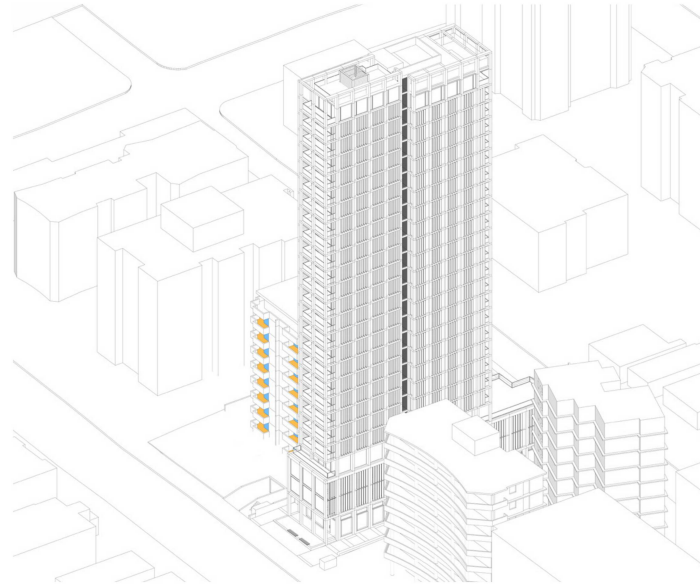
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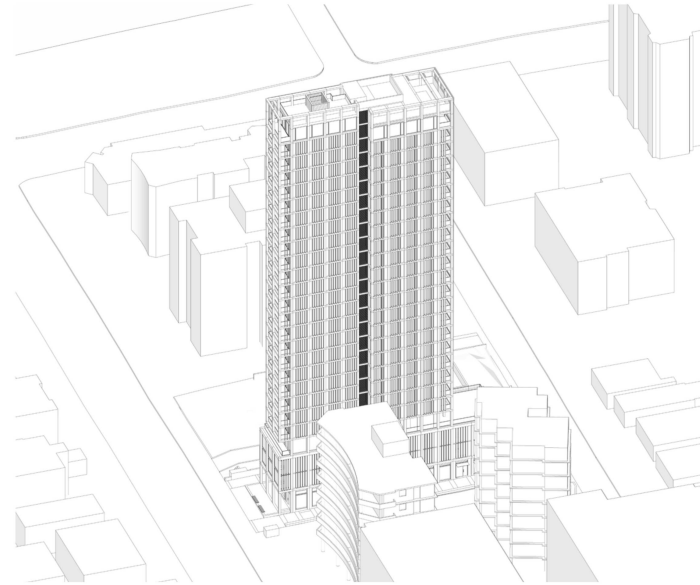
Winter Solstice 9AM



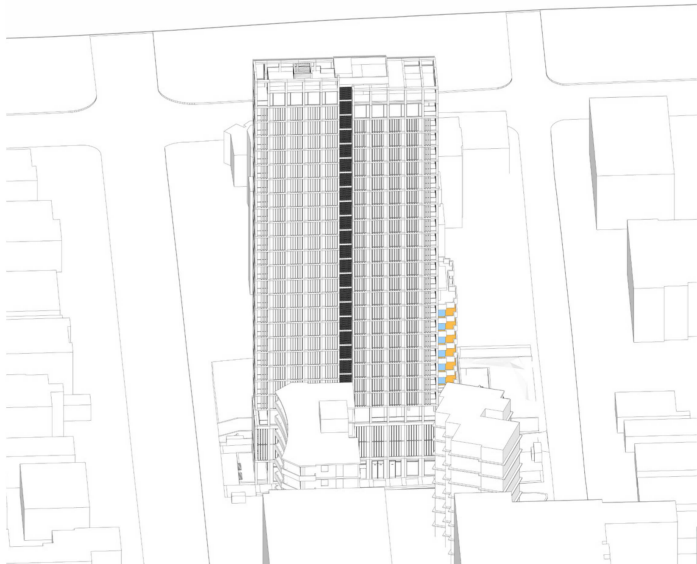
Winter Solstice 10AM



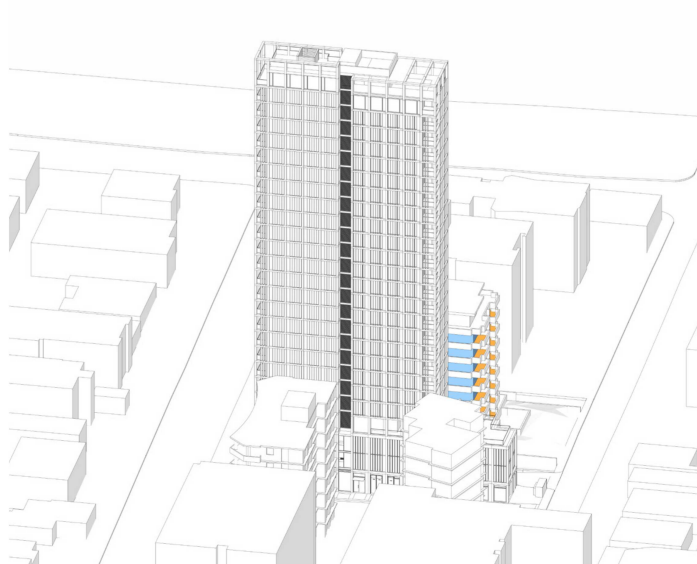
Winter Solstice 11AM



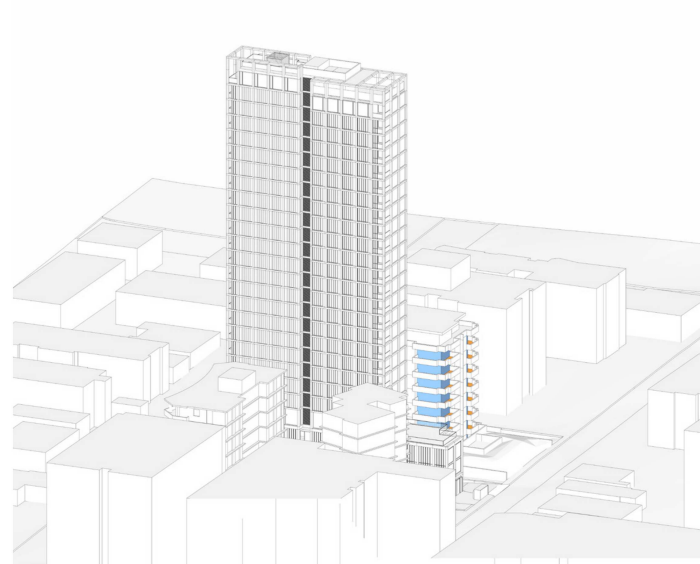
Winter Solstice 12PM



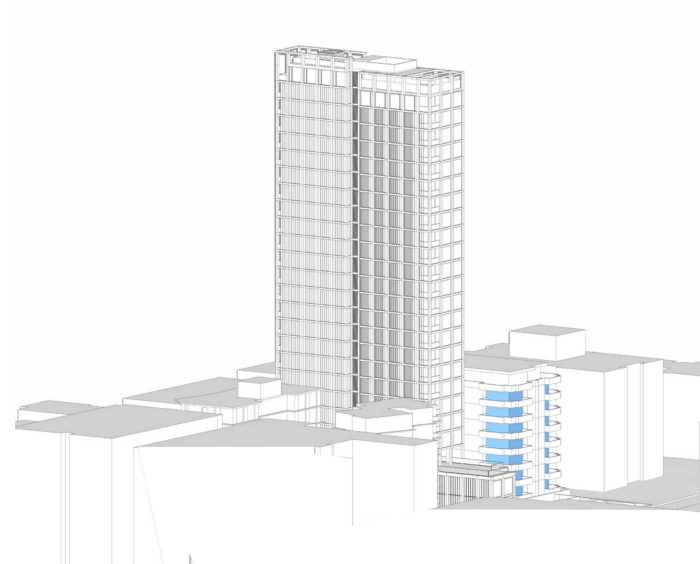
Winter Solstice 1PM



Winter Solstice 2PM



Winter Solstice 3PM



Winter Solstice 4PM

- Living Room
- Balcony

42 Archer Street, Chatswood

Views from the Sun (Mid-Winter 0900 to 1600)

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Status	Development Application		
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BIM	ARCHERST_BS_ARCH_R2020		
Drawing no.	A21.10		Revision
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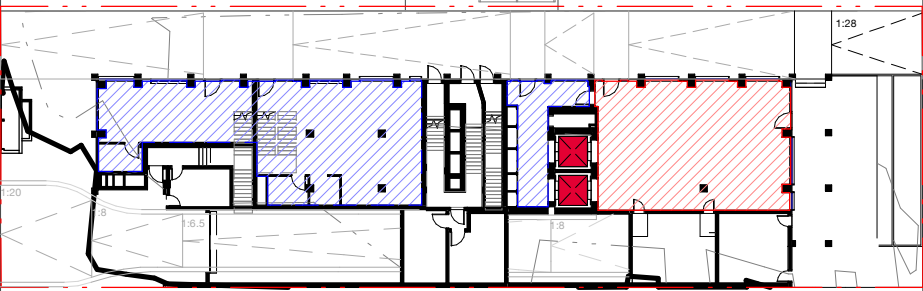
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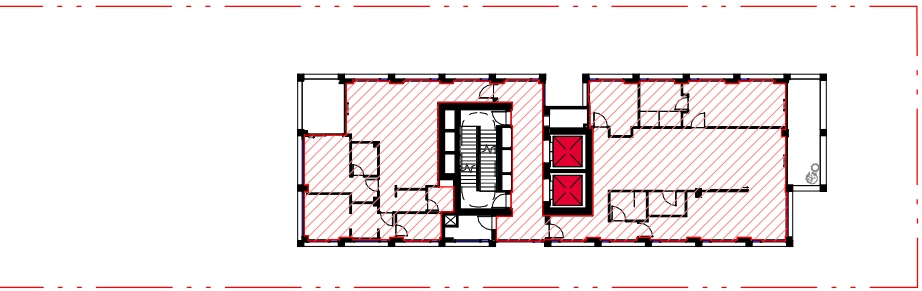
BOUNDARY



Ground Floor Plan

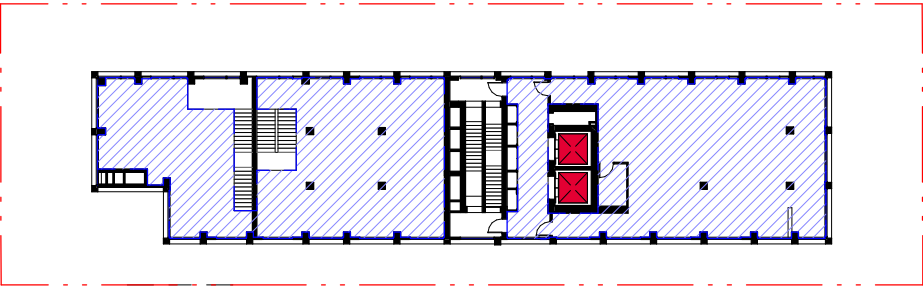
Non-Residential GFA: 157m²
Residential GFA: 107m²

BOUNDARY



Levels 04-23 Plan

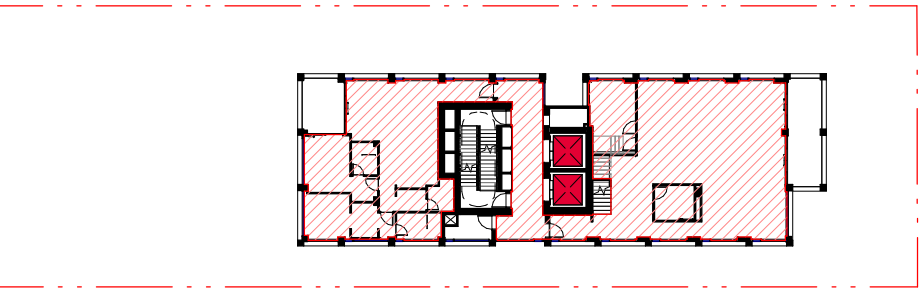
Residential GFA: 253.5m²



Level 01 Plan

Non-Residential GFA: 383m²
Residential GFA: 0m²

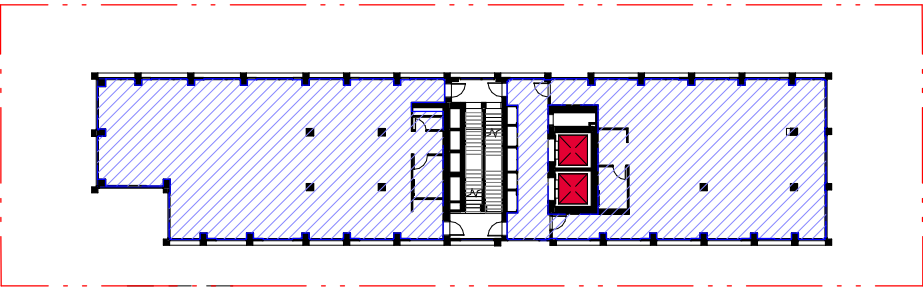
BOUNDARY



Level 24 Plan

Residential GFA: 251m²

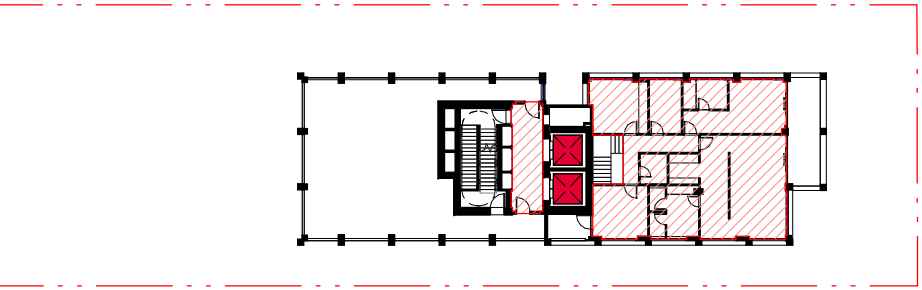
BOUNDARY



Level 02 Plan

Non-Residential GFA: 414m²
Residential GFA: 0m²

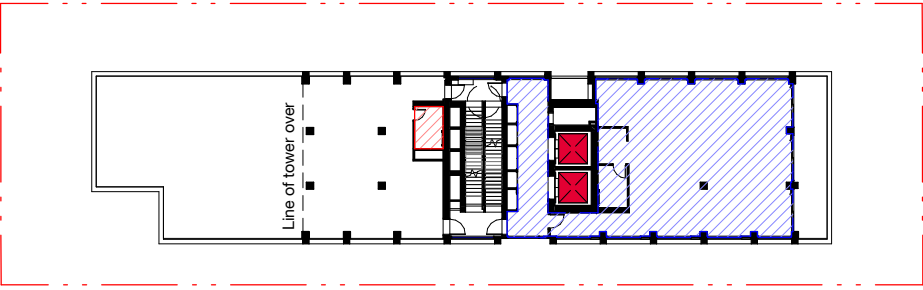
BOUNDARY



Level 25 Plan

Residential GFA: 142m²

BOUNDARY



Level 03 Plan

Non-Residential GFA: 161m²
Residential GFA: 5m²

Total Non-Residential GFA: 1,115m²
Total Residential GFA: 5,575m²

Total GFA: 6,690m²

Legend:

- Gross Floor Area
- Open Space Area
- Deep Soil Area

Gross Floor Area
means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:
(a) the area of a mezzanine, and
(b) habitable rooms in a basement or an attic, and
(c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
(d) any area for common vertical circulation, such as lifts and stairs, and
(e) any basement:
(i) storage, and
(ii) vehicular access, loading areas, garbage and services, and
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
(g) car parking to meet any requirements of the consent authority (including access to that car parking), and
(h) any space used for the loading or unloading of goods (including access to it), and
(i) terraces and balconies with outer walls less than 1.4 metres high, and
(j) voids above a floor at the level of a storey or storey above.
(Willoughby City Council LEP 2012 - Dictionary of Terms)

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3	03.06.22	DA Final Draft	ML	DC
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42 Archer Street, Chatswood

GFA Calculation Diagrams

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Drawing no.	A22.01	Revision A

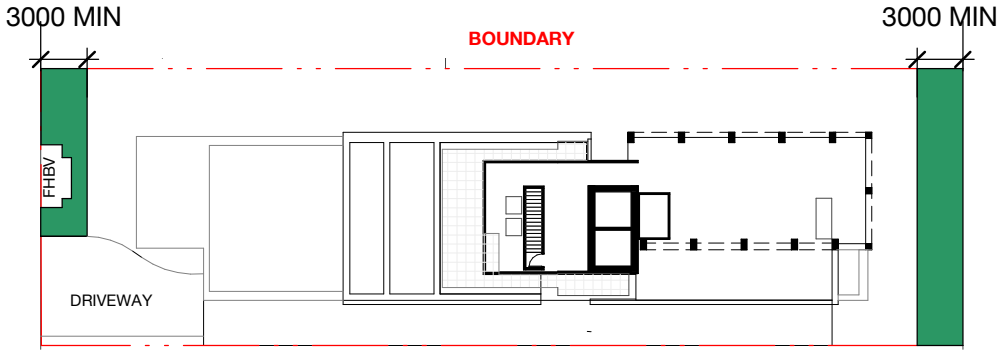
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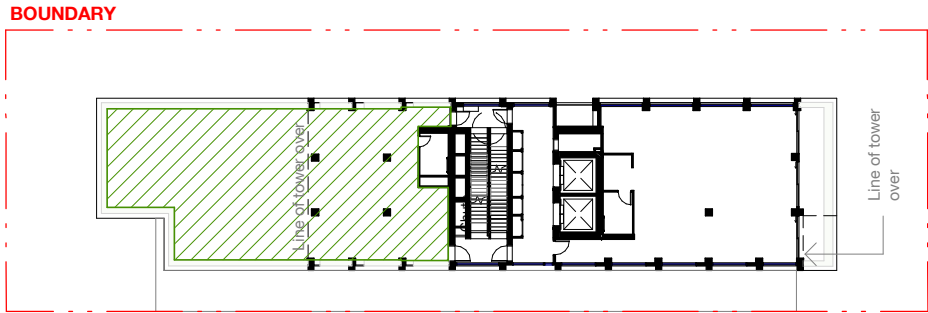
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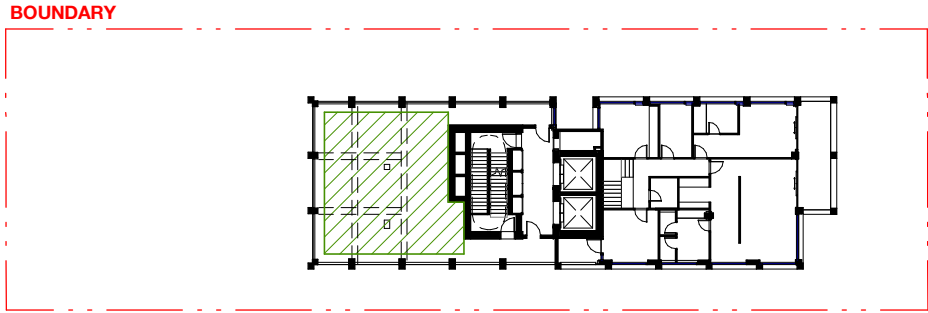
Deep Soil Plan

Deep Soil: 86m²
Site Area: 1114m²
% of site: 7.7%



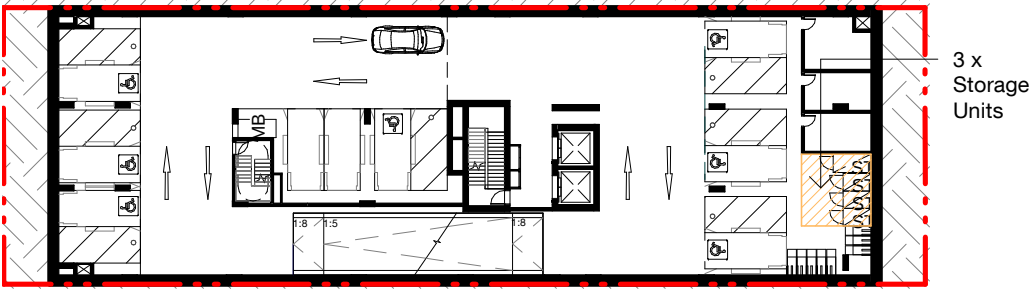
Level 03 Open Space Plan

Open Space Area: 201m²



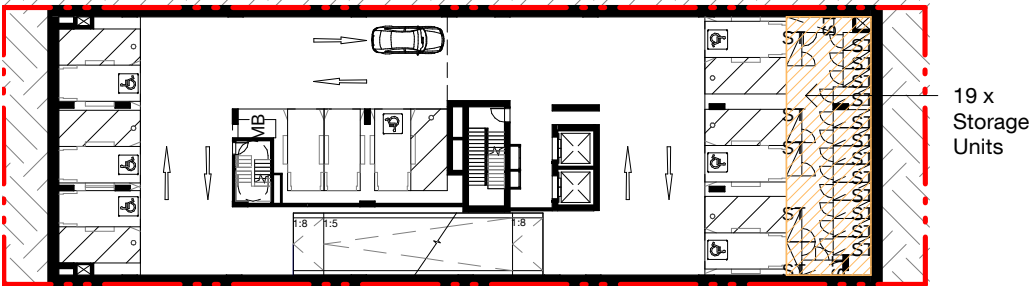
Level 25 Open Space Plan

Open Space Area: 79m²



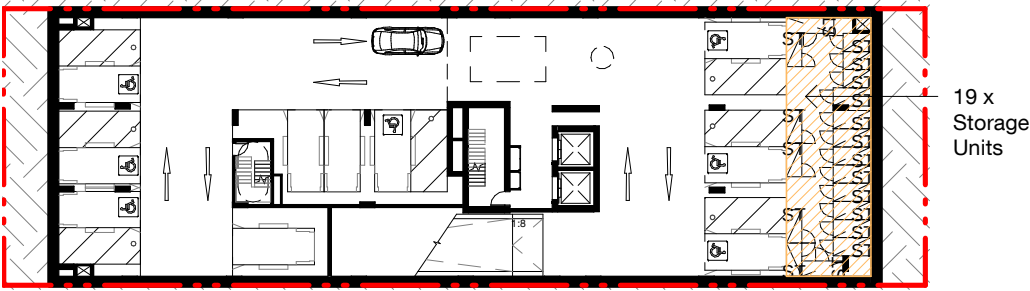
Basement 02 Storage Calculation

Storage Units Type A	3
Volume per Unit	4.4m ³
Storage Units Type B	1
Volume per Unit	6m ³



Basement 03 Storage Calculation

Storage Units Type A	9
Volume per Unit	4.4m ³
Storage Units Type B	10
Volume per Unit	6m ³



Basement 04 Storage Calculation

Storage Units Type A	9
Volume per Unit	4.4m ³
Storage Units Type B	10
Volume per Unit	6m ³

Summary	
Total Storage Units	42

Storage Units Type A	21
Storage Units Type B	21

Legend:

- Gross Floor Area
- Open Space Area
- Deep Soil Area

Gross Floor Area
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(a) the area of a mezzanine, and
(b) habitable rooms in a basement or an attic, and
(c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
(d) any area for common vertical circulation, such as lifts and stairs, and
(e) any basement:
(i) storage, and
(ii) vehicular access, loading areas, garbage and services, and
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
(g) car parking to meet any requirements of the consent authority (including access to that car parking), and
(h) any space used for the loading or unloading of goods (including access to it), and
(i) terraces and balconies with outer walls less than 1.4 metres high, and
(j) voids above a floor at the level of a storey or storey above.

(Willoughby City Council LEP 2012 - Dictionary of Terms)

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Area Calculation Plans

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